

# Renovations to: BIG PINK

157 Collins Avenue

Miami Beach, Florida

## LIST OF DRAWINGS

### ARCHITECTURAL

- A-0 COVER SHEET
- A-1 GROUND LEVEL FLOOR PLAN
- A-2 GROUND LEVEL REFLECTED CEILING PLAN
- A-3 SECOND FLOOR PLAN
- A-4 SECOND FLOOR REFLECTED CEILING PLAN
- A-5 ROOF PLAN
- A-6 GENERAL NOTES
- A-7 INTERIOR ELEVATIONS AND DETAILS
- A-7a INTERIOR ELEVATIONS AND DETAILS
- A-8 ENLARGED PUBLIC RESTROOMS
- A-8a ENLARGED BATHROOMS
- A-9 ARCHITECTURAL DETAILS
- A-10 SCHEDULES AND SPECIFICATIONS

### EQUIPMENT

- Q-1 EQUIPMENT PLAN
- Q-2 PLUMBING ROUGH-IN
- Q-3 ELECTRICAL ROUGH-IN

### PLUMBING

- P-1 GROUND FLOOR PLUMBING PLAN
- P-2 SECOND FLOOR PLUMBING PLAN
- P-3 DIAGRAMS
- P-4 DIAGRAMS AND DETAILS

### ELECTRICAL

- E-1 GROUND FLOOR ELECTRICAL POWER PLAN
- E-2 SECOND FLOOR ELECTRICAL POWER PLAN
- E-3 GROUND FLOOR LIGHTING PLAN
- E-4 SECOND FLOOR LIGHTING PLAN
- E-5 PANELS, RISER
- E-6 NOTES

### MECHANICAL

- M-1 GROUND FLOOR HVAC PLAN
- M-2 SECOND FLOOR HVAC PLAN
- M-3 NOTES AND DETAILS

### STRUCTURAL

- S-1 FOUNDATION/GROUND FLOOR FRAMING PLAN
- S-2 SECOND FLOOR AND LOW ROOF FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 STRUCTURAL BUILDING SECTIONS
- S-5 STRUCTURAL DETAILS

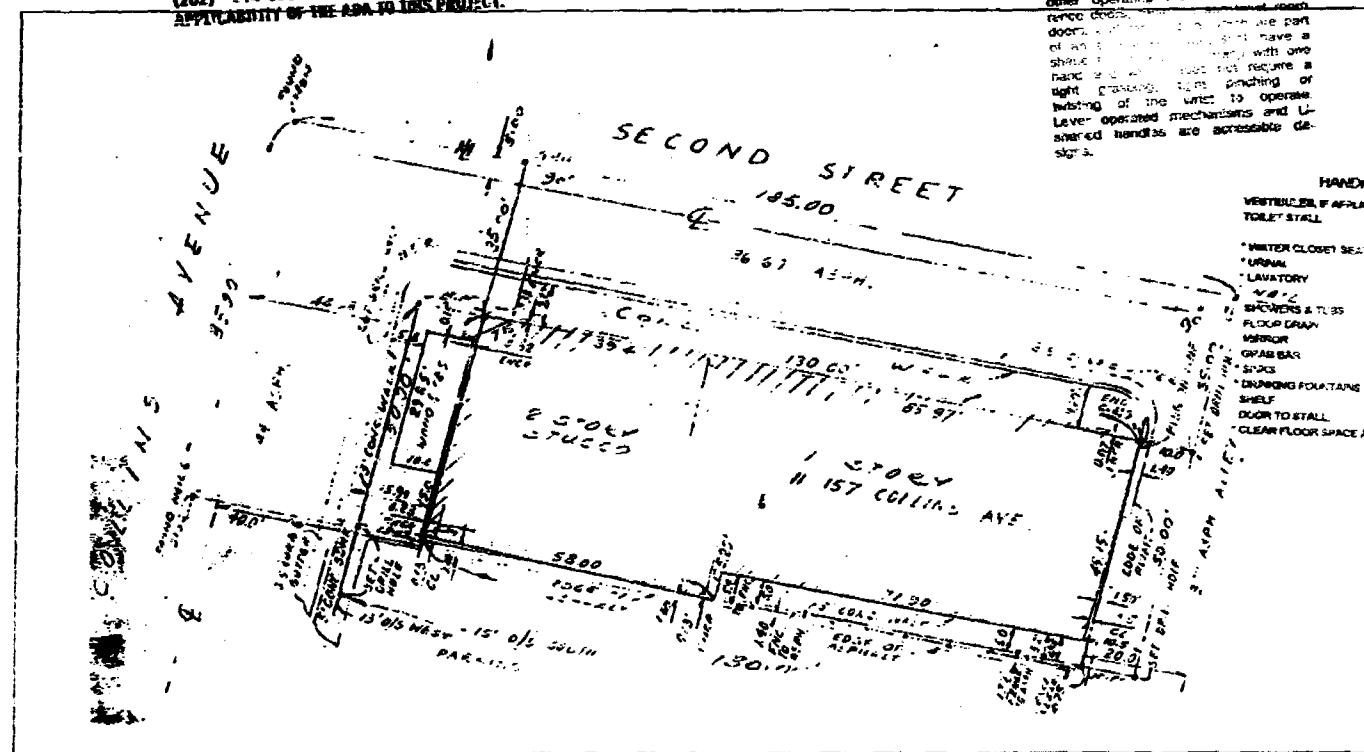
## OFFICE COPY CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY  
THE COMMISSIONER

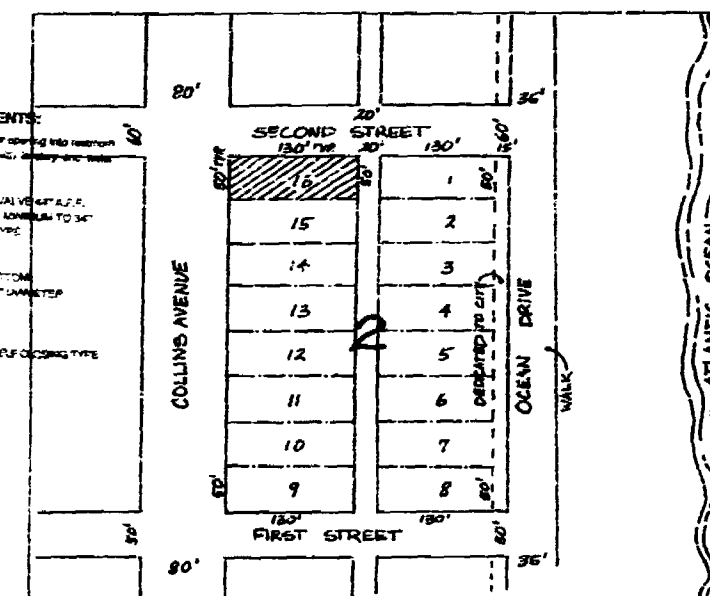
BUILDING: *[Signature]*  
ZONING: *[Signature]*  
PLUMBING: *[Signature]*  
ELECTRICAL: *[Signature]*  
MECHANICAL: *[Signature]*  
FIRE PREVENTION: *[Signature]*  
ENGINEERING: *[Signature]*  
PUBLIC WORKS: *[Signature]*  
STRUCTURAL: *[Signature]*  
ACCESSIBILITY: *[Signature]*  
ELEVATOR: *[Signature]*

**NOTICE TO OWNER, DESIGNER & CONTRACTOR**  
THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE PRESENT REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE ONLY. PLEASE CONTACT THE OFFICE ON THE AMERICANS WITH DISABILITIES ACT (ADA) AT (305) 514-0301 IF YOU HAVE CONCERNS ABOUT THE APPLICABILITY OF THE ADA TO THIS PROJECT.

### SURVEY

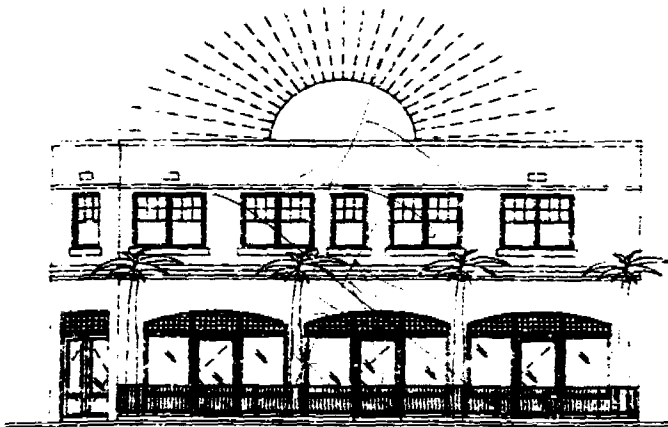


### LOCATION MAP



### LEGAL DESCRIPTION

LOT 16, BLOCK 2, OCEAN BEACH, FLORIDA SUBDIVISION, RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. AREA OF LOT IS 6500 SQ.FT. OR 0.149 AC. ±



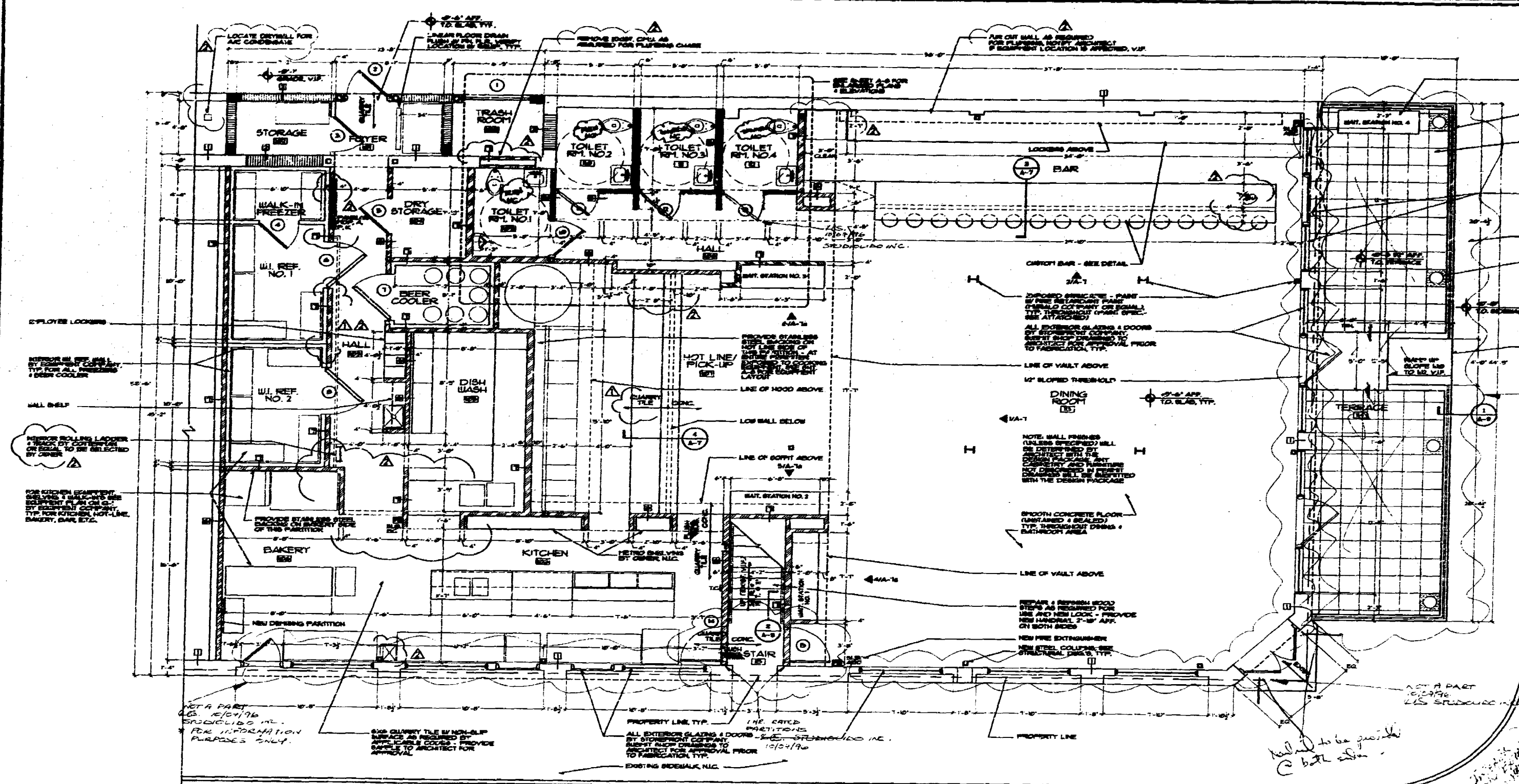
studiolido inc. • architecture • interiors • furniture • 940 Lincoln road • suite 314 • miami beach • florida 33139

STRUCTURAL ENGINEER  
ED LANDERS  
(305) 823-3938

M.E.P. ENGINEER  
DAVID PUGA & ASSOCIATES  
(305) 861-7700

SURVEYORS  
ZURWELLE-WHITAKER, INC.  
(305) 534-4658

EQUIPMENT BY ARROW INDUSTRIES  
RAUL PINERO  
(305) 635-6500



**GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



SECOND STREET

**PARTITION TYPES**

- 1. PARTITION - HTL. STUDS (WITH AS PER PLAN) @ 16" OC. WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
- 2. PARTITION - HTL. STUDS (WITH AS PER PLAN) @ 16" OC. WITH 1/2" GYPSUM BOARD ON ONE SIDE AND 5/8" GYPSUM BOARD ON OTHER SIDE.
- 3. PARTITION - HTL. STUDS (WITH AS PER PLAN) @ 16" OC. WITH 1/2" GYPSUM BOARD ON ONE SIDE AND 5/8" GYPSUM BOARD ON OTHER SIDE. WITH 1/2" GYPSUM BOARD ON BOTH SIDES AT STAIRS.
- 4. PARTITION - HTL. STUDS (WITH AS PER PLAN) @ 16" OC. WITH 1/2" GYPSUM BOARD ON ONE SIDE AND 5/8" GYPSUM BOARD ON OTHER SIDE. WITH 1/2" GYPSUM BOARD ON BOTH SIDES AT STAIRS. WITH 1/2" GYPSUM BOARD ON BOTH SIDES AT STAIRS.
- 5. PARTITION - HTL. STUDS (WITH AS PER PLAN) @ 16" OC. WITH 1/2" GYPSUM BOARD ON ONE SIDE AND 5/8" GYPSUM BOARD ON OTHER SIDE. WITH 1/2" GYPSUM BOARD ON BOTH SIDES AT STAIRS. WITH 1/2" GYPSUM BOARD ON BOTH SIDES AT STAIRS.

- NOTE:**
1. PROVIDE GUARDROCK WHERE REQUIRED FOR TILE INSTALLATION UNLESS OTHERWISE NOTED.
  2. PROVIDE PAINT FINISH AS PER ARCHITECT'S INSTRUCTIONS.
  3. DETAIL ALL JOINTS TO BE TYPED BY FABRICATOR TYPE AND CORROSION RESISTANT. DETAIL ALL CORNER WALLS AND STAIRS AS PER TRADES/PERMITS RECOMMENDATIONS. CORNER WALLS AND OTHER ACCESSORIES TO BE GALV. STEEL.
  4. USE 2" X 4" S&W HTL. STUDS FOR PARTITIONS NOTED AS 4" PER PLAN. USE OTHER SIZES AS NEEDED TO ACCOMMODATE SPECIAL CONDITIONS.
  5. PROVIDE FRAMES FROM BUCKING OTHER PARTITION CONSTRUCTION WHERE PARTITION IS NOT TO CORNER. SEE DETAIL FOR PARTITION CONSTRUCTION. SEE PARTITION & DETAIL TO CORNER. SEE DETAIL FOR PARTITION CONSTRUCTION. SEE PARTITION & DETAIL TO CORNER.

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	
MECHANICAL:	
ELECTRICAL:	
PLUMBING:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

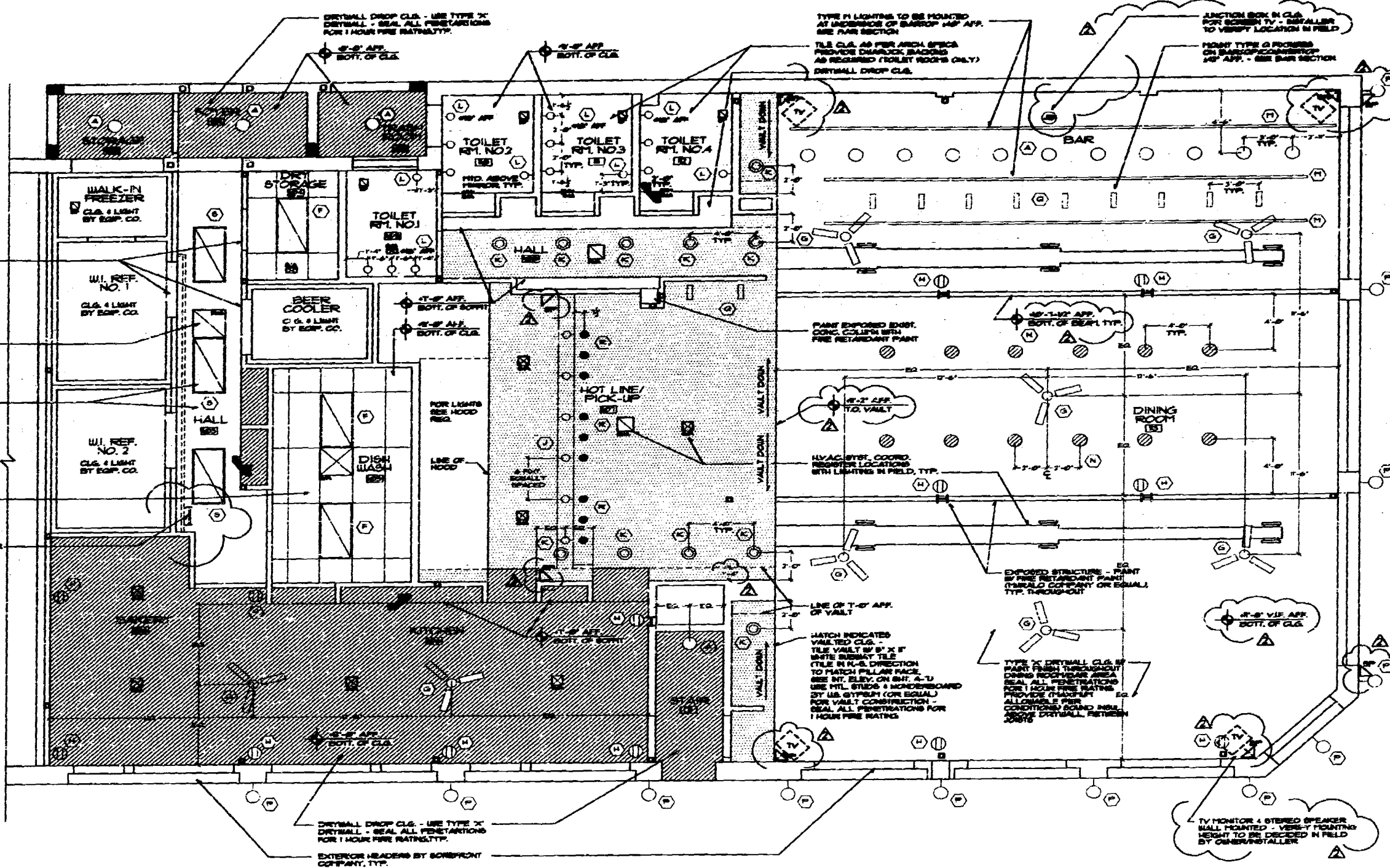
RENOVATIONS TO:  
**BIG PINK**  
157 Collins Avenue  
Miami Beach, Florida 33139

GROUND FLOOR/SITE PLAN

PERMIT NO. 07-19-96  
08-07-96

PROJECT DATE: 07-08-96  
PROJECT REGISTERED NAME: BP  
SCALE: 1/4" = 1'-0"  
DRAWN BY: V.B.  
CHECKED BY:

A-1



- LIGHTING SYMBOLS**
- ⊙ SURFACE MOUNTED UTILITY PICTURE (2000)
  - ⊙ SURFACE MOUNTED RECESSED PICTURE (2000)
  - ⊙ TRACK LIGHTING
  - ⊙ RECESSED CAN FIXTURE
  - ⊙ GLASS TYPE I RECESSED VENTURE SPEED BALL, 2000
  - ⊙ RECESSED ALIGNMENT (2000) SEE FLOOR SECTION
  - ⊙ GLASS TYPE 2 RECESSED VENTURE SPEED BALL, 2000
  - ⊙ CEILING MOUNTED OUTLET FOR BAR & DINING ROOM LIGHT FIXTURES TO BE PLACED AT INTERSECTIONS OF BARROW AND APP. SEE FLOOR SECTION
  - ⊙ CABLE LIGHT SYSTEM (2 VOLT)
  - ⊙ RECESSED 12 VOLT FIXTURE UP INTERNAL TRANSFORMER
  - ⊙ CHARGE FIXTURE (2 VOLT) IN SERVICE TRANSFORMER TO 1200V SPECIAL RECESSED TRACKING
  - ⊙ WIRE LIGHTING UNDER BARROW
  - ⊙ HUD SURFACE MOUNTED FIXTURE
  - ⊙ EXTERIOR BREATHER LIGHT WALL SOURCE (2000)
  - ⊙ BARNYON LIGHT FIXTURE (2000) SEE FLOOR SECTION
  - ⊙ PENDANT MEAT LAMP (2000)
- NOTE: SEE LIGHTING FIXTURE SCHEDULE ON SHEET 01 AND FOR LIGHTING SPECIFICATIONS.

- HVAC SYMBOLS**
- ⊙ EXHAUST FAN
  - ⊙ RETURN AIR REGISTER
  - ⊙ SUPPLY AIR REGISTER
  - ⊙ SPECIAL SUPPLY AIR REGISTER
  - ⊙ EXHAUST EXHAUST
  - ⊙ SUPPLY AIR REGISTER
  - ⊙ SPECIAL SUPPLY AIR REGISTER
- NOTE: FOR HVAC SYSTEM RECOMMENDATIONS AND SPECIFICATIONS, SEE MECHANICAL DRAWING ELEVATION.
- NOTE: HIGHT EXPOSED OVERHEAD AS HIGH AS POSSIBLE THROUGHOUT.
- NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING.

**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 Approved for permit by  
 The following:

BUILDING	_____
ZONING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
FIRE & ALARM	_____
ENGINEERING	_____
PUBLIC WORKS	_____
STRUCTURAL	_____
ACCESSIBILITY	_____
ELEVATOR	_____

**REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

RENOVATIONS TO:  
**BIG PINK**  
 187 Collins Avenue  
 Miami Beach, Florida 33139

**GROUND FLOOR  
 REFL. CLG. PLAN**

DATE: 06-07-96

PROJECT NO: 97-00-96

PROJECT LOCATION: 187 Collins Avenue

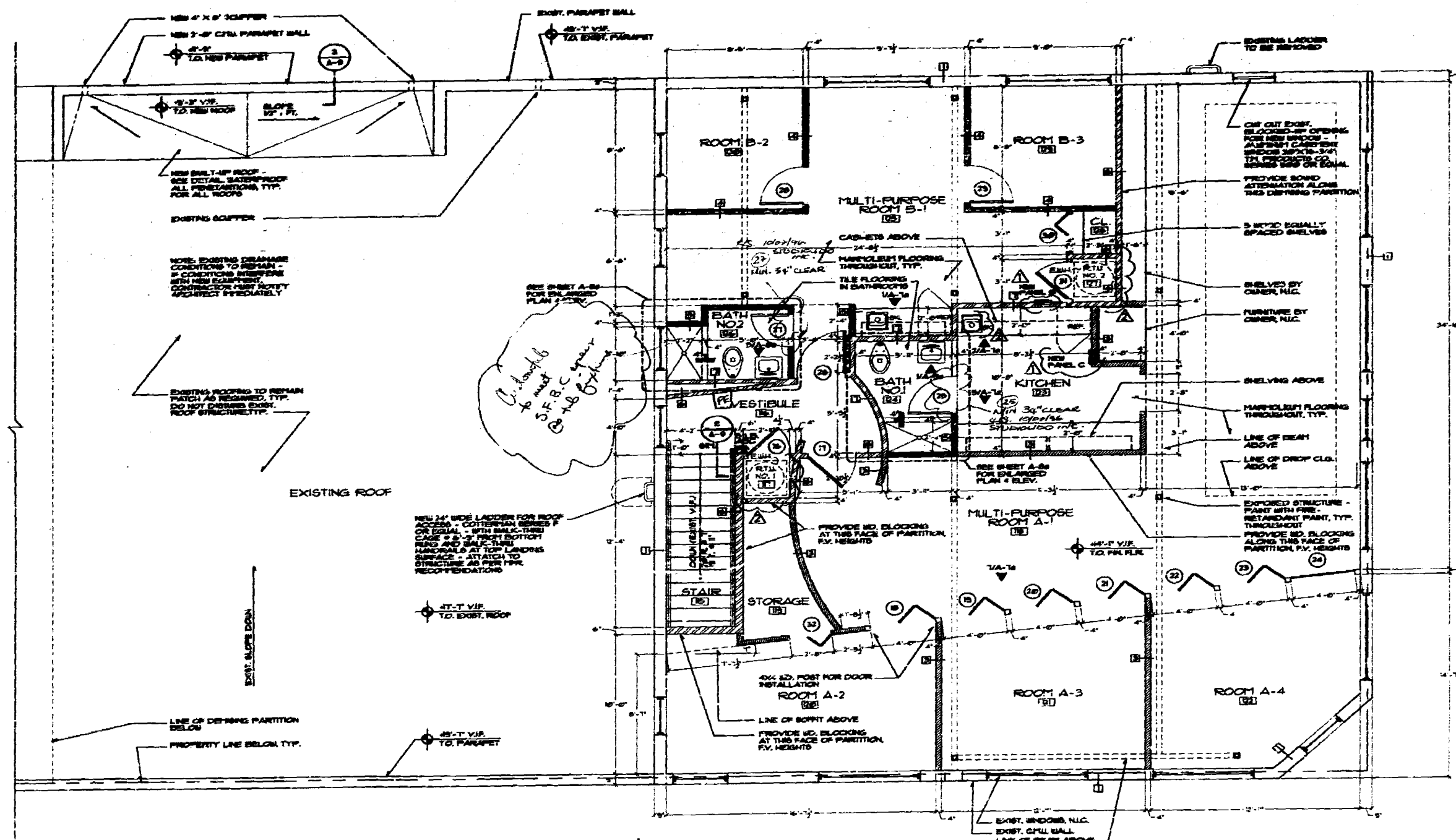
SCALE: 1/4" = 1'-0"

Drawn by: V.B.

Approved: \_\_\_\_\_

A-2

© 1996 STANCO, INC.  
 The Design and Drawings for this project are the property of this architect and are protected under the copyright protection act.



⊕ **SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING	
ZONING	
PLANNING	
ELECTRICAL	
Mechanical	
Fire	
Engineering	
Public Works	
Structural	
Accessibility	
Elevator	

RENOVATIONS TO:  
**BIG PINK**  
157 Collins Avenue  
Miami Beach, Florida 33139

SECOND FLOOR PLAN

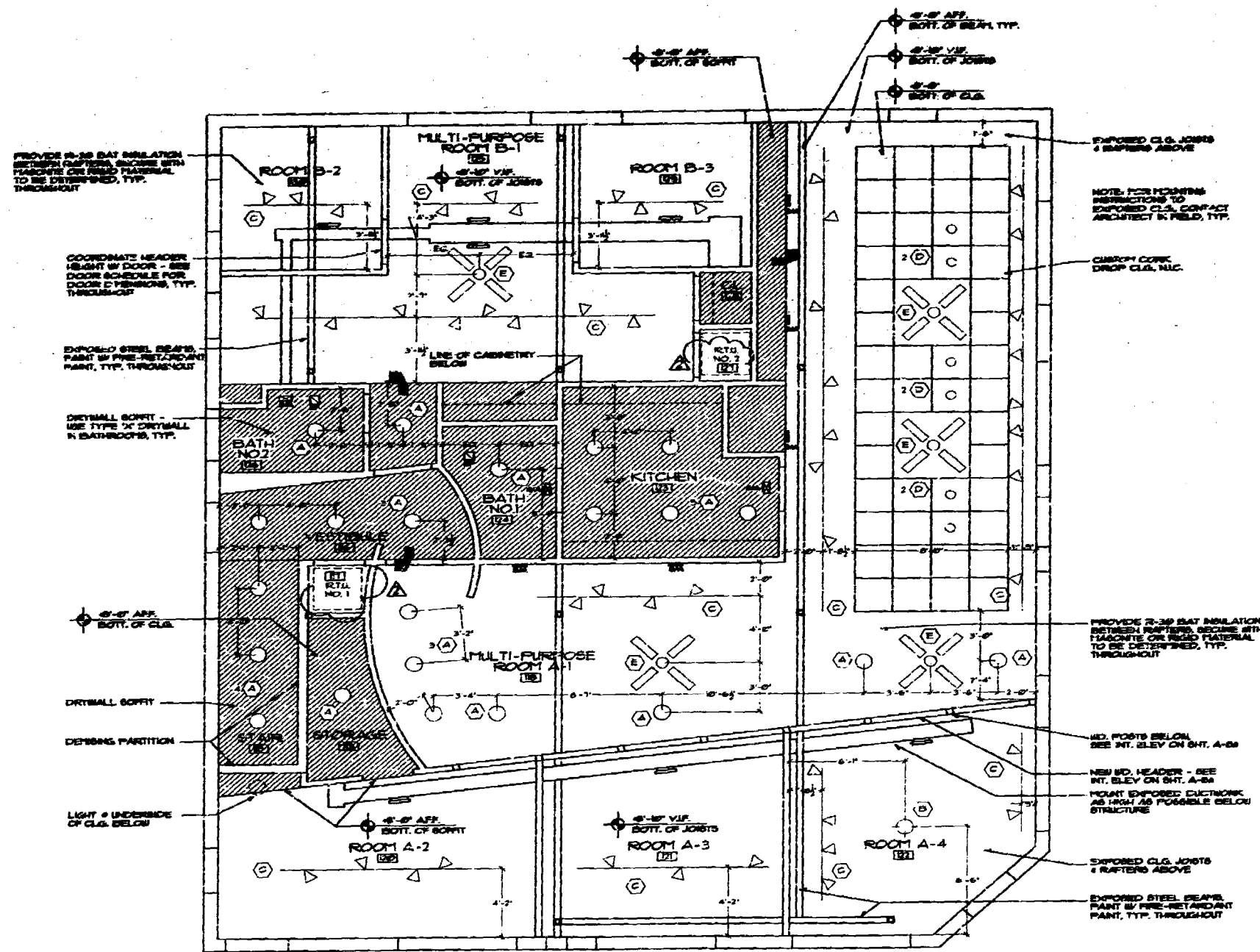
PERMIT NO. 07-19-96  
08-07-96

PROJECT NO. 87-88-96  
STRUCTURAL ENGINEER NAME  
DATE 1/8/97  
DRAWN BY V.B.  
CHECKED

A-3

© 1997 STATE OF FLORIDA  
ALL RIGHTS RESERVED. THIS PLAN  
IS THE PROPERTY OF THE ARCHITECT  
AND IS NOT TO BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR BY  
ANY MEANS, ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION STORAGE AND  
RETRIEVAL SYSTEM.





REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

- LIGHTING SYMBOLS**
- ⊙ - SURFACE MOUNTED UTILITY FIXTURE (18" DIA.)
  - ⊕ - SURFACE MOUNTED RECESSED FIXTURE (18" DIA.)
  - ⊖ - TRACK LIGHTING
  - ⊙ - 4" RECESSED CAN FIXTURE
  - ⊗ - CLG. JOIST TYPE 1 RECESSED CAN FIXTURE
- NOTE: SEE LIGHTING FIXTURE SCHEDULES ON SHEET A-10 FOR LIGHTING SPECIFICATIONS

- HVAC SYMBOLS**
- ⊠ - EXHAUST FAN
  - ⊠ - RETURN AIR REGISTER
  - ⊠ - SUPPLY AIR REGISTER
  - ⊠ - SPECIAL SUPPLY AIR REGISTER
  - ⊠ - SHIPPED CLG. JOISTS & RAFTERS ABOVE
  - ⊠ - EXPANDED STEEL REINFORCEMENT
- NOTE: FOR HVAC, SEE MECHANICAL DRAWINGS AND SPECIFICATIONS, SEE MECHANICAL DRAWINGS
- NOTE: POINT SHIPPED JOISTS AS HIGH AS POSSIBLE THROUGHOUT
- NOTE: IN CASE OF DISCREPANCY, NOTIFY ARCHITECT PRIOR TO PROCEEDING

**OFFICE COPY**  
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: \_\_\_\_\_  
 ELECTRICAL: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 FIRE PREVENTION: \_\_\_\_\_  
 ENGINEERING: \_\_\_\_\_  
 PUBLIC WORKS: \_\_\_\_\_  
 STRUCTURAL: \_\_\_\_\_  
 ACCESSIBILITY: \_\_\_\_\_  
 ELEVATOR: \_\_\_\_\_

RENOVATIONS TO:  
**BIG PINK**  
157 Collins Avenue  
Miami Beach, Florida 33139

SECOND FLOOR  
REFL. CLG. PLAN

PERMIT NO. 08-07-56

DATE: 07-08-56  
 PROJECT: BIG PINK  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: V.B.  
 APPROVED: \_\_\_\_\_

A-4



**Architectural general notes**

**DIVISION 1 - GENERAL REQUIREMENTS**

- 1.1 **General Work:**  
The work includes all work specified and everything of existing building areas of the structure. All work shall be done in a neat workmanlike manner and in accordance with all codes, rules and regulations and in accordance with the contract.
- 1.2 **Construction:**  
The contractor shall be responsible for obtaining all applicable permits, licenses, and pay all necessary fees in performing this contract.
- 1.3 **Materials:**  
The contractor shall obtain all materials and supplies throughly familiar with the project and verify all measurements, utility locations and dimensions and verify the condition of any and all structures prior to construction.  
The contractor shall obtain all materials and supplies throughly familiar with the project and verify all measurements, utility locations and dimensions and verify the condition of any and all structures prior to construction.  
The contractor shall obtain all materials and supplies throughly familiar with the project and verify all measurements, utility locations and dimensions and verify the condition of any and all structures prior to construction.
- 1.4 **Method of Work:**  
The contractor shall use the most appropriate method of construction. The contractor shall use the most appropriate method of construction. The contractor shall use the most appropriate method of construction.
- 1.5 **Subcontractors:**  
The contractor shall provide a schedule indicating the proposed sequence of operations for subcontractors. The contractor shall provide a schedule indicating the proposed sequence of operations for subcontractors.
- 1.6 **Shop Drawings, Fabrication and Erection:**  
The contractor shall provide shop drawings for all steel, structural steel, and other materials. The contractor shall provide shop drawings for all steel, structural steel, and other materials.
- 1.7 **Construction Schedule:**  
The contractor shall provide a construction schedule for the project. The contractor shall provide a construction schedule for the project.
- 1.8 **Quality Control:**  
The contractor shall provide a quality control program for the project. The contractor shall provide a quality control program for the project.
- 1.9 **Final Inspection:**  
The contractor shall provide a final inspection report for the project. The contractor shall provide a final inspection report for the project.

**DIVISION 2 - STEEL WORK**

- 2.1 **Steel Erection:**  
2.1.1 **Installation:** Erect and connect all steel members in accordance with the contract and approved shop drawings.  
2.1.2 **Alignment:** Erect and connect all steel members in accordance with the contract and approved shop drawings.  
2.1.3 **Welding:** Weld all steel members in accordance with the contract and approved shop drawings.  
2.1.4 **Painting:** Paint all steel members in accordance with the contract and approved shop drawings.  
2.1.5 **Galvanizing:** Galvanize all steel members in accordance with the contract and approved shop drawings.  
2.1.6 **Drilling:** Drill all steel members in accordance with the contract and approved shop drawings.  
2.1.7 **Grinding:** Grind all steel members in accordance with the contract and approved shop drawings.  
2.1.8 **Flaming:** Flame cut all steel members in accordance with the contract and approved shop drawings.  
2.1.9 **Flame Cutting:** Flame cut all steel members in accordance with the contract and approved shop drawings.
- 2.2 **Site Cleanup:**  
The contractor shall be responsible for cleaning up the site after the completion of the work. The contractor shall be responsible for cleaning up the site after the completion of the work.
- 2.3 **Storage and Handling:**  
The contractor shall be responsible for storing and handling all materials and supplies. The contractor shall be responsible for storing and handling all materials and supplies.

**DIVISION 3 - WOOD AND PLASTER**

- 3.1 **Wood Work:**  
3.1.1 **Installation:** Install all wood work in accordance with the contract and approved shop drawings.  
3.1.2 **Finishing:** Finish all wood work in accordance with the contract and approved shop drawings.  
3.1.3 **Painting:** Paint all wood work in accordance with the contract and approved shop drawings.  
3.1.4 **Graining:** Grain all wood work in accordance with the contract and approved shop drawings.  
3.1.5 **Staining:** Stain all wood work in accordance with the contract and approved shop drawings.

**DIVISION 4 - GENERAL AND INTERIOR FINISHES**

- 4.1 **Interior Finishes:**  
4.1.1 **Painting:** Paint all interior surfaces in accordance with the contract and approved shop drawings.  
4.1.2 **Wallpapering:** Wallpaper all interior surfaces in accordance with the contract and approved shop drawings.  
4.1.3 **Plastering:** Plaster all interior surfaces in accordance with the contract and approved shop drawings.  
4.1.4 **Tile Setting:** Set all interior tile in accordance with the contract and approved shop drawings.

**DIVISION 5 - DOORS AND WINDOWS**

- 5.1 **Door and Window Installation:**  
5.1.1 **Installation:** Install all doors and windows in accordance with the contract and approved shop drawings.  
5.1.2 **Finishing:** Finish all doors and windows in accordance with the contract and approved shop drawings.

**DIVISION 6 - FIXTURES**

- 6.1 **Interior Fixtures:**  
6.1.1 **Installation:** Install all interior fixtures in accordance with the contract and approved shop drawings.  
6.1.2 **Finishing:** Finish all interior fixtures in accordance with the contract and approved shop drawings.

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR SUBMIT BY  
[Signature]  
BUILDING DEPARTMENT  
PLANNING DEPARTMENT  
PUBLIC WORKS DEPARTMENT  
STRUCTURAL ENGINEERING DEPARTMENT  
ACCESSIBILITY DEPARTMENT  
ELEVATOR DEPARTMENT

RENOVATIONS TO:  
**BIG PINK**  
157 Collins Avenue  
Miami Beach, Florida 33139

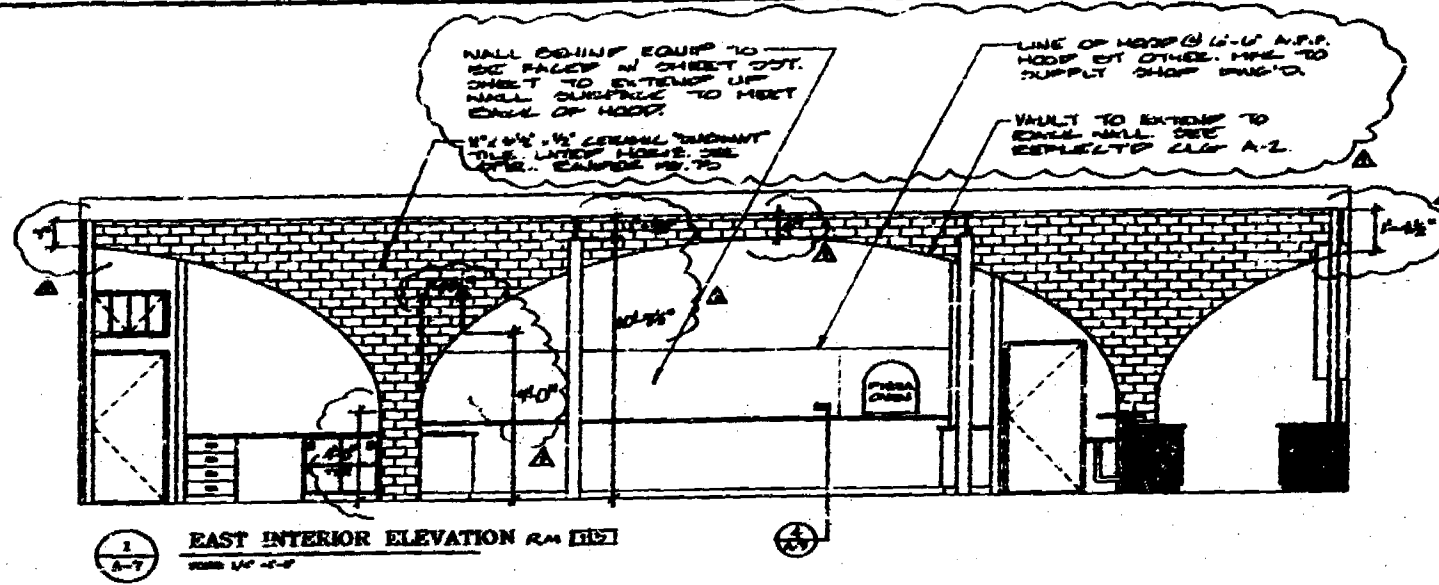
GENERAL NOTES

REVISIONS

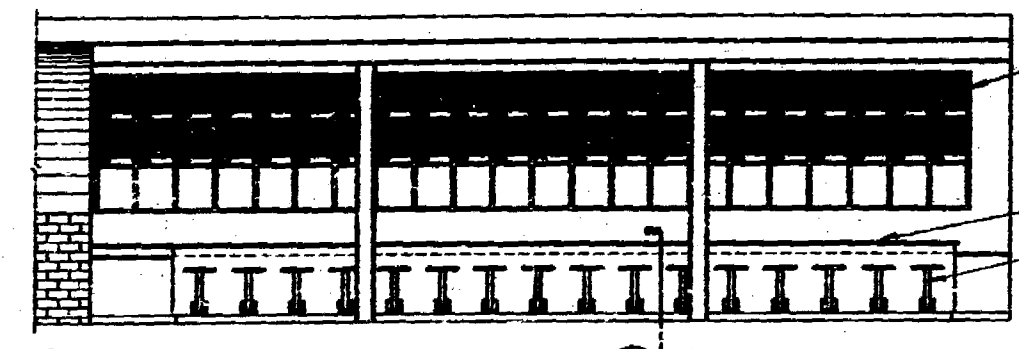
DATE: 07-01-06  
PROJECT: 0607710-000  
SCALE: 1/8" = 1'-0"  
DRAWN BY: V.B.  
CHECKED BY:

A-6

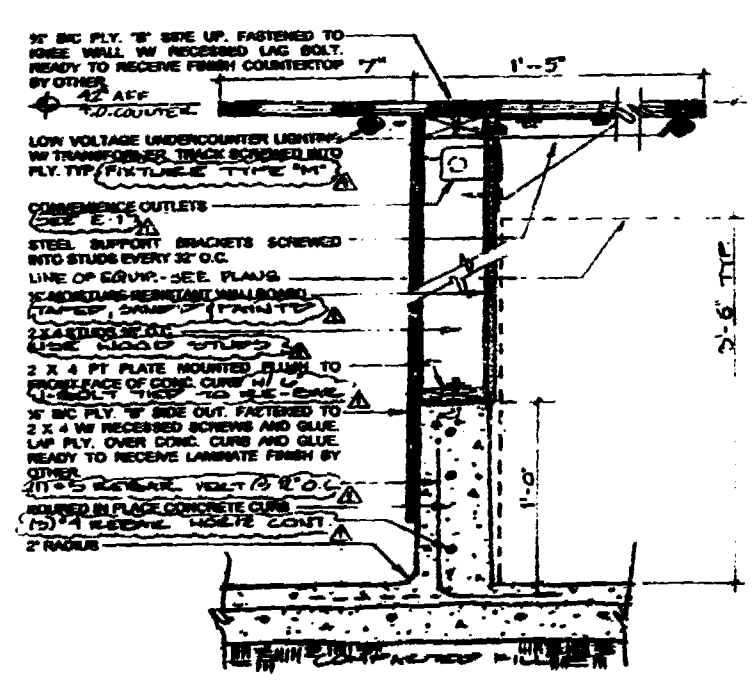




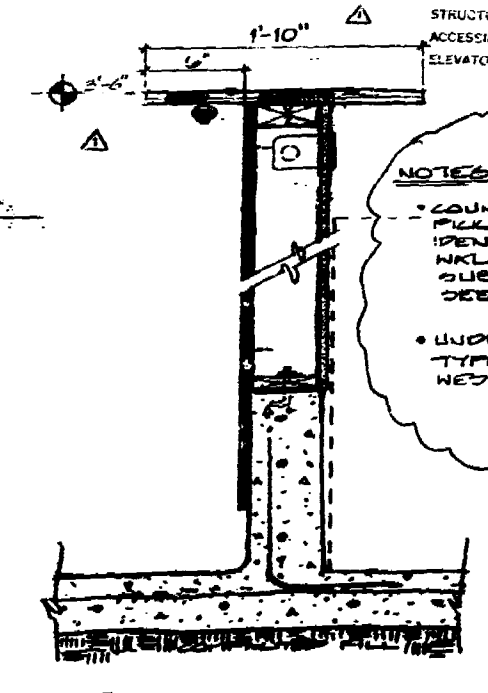
1 EAST INTERIOR ELEVATION  
SCALE 1/4" = 1'-0"



2 SOUTH INTERIOR ELEVATION  
SCALE 1/4" = 1'-0"



3 BAR WALL SECTION  
SCALE 1/4" = 1'-0"



4 PICK-UP WALL SECTION  
SCALE 1/4" = 1'-0"

**OFFICE COPY**  
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	
ZONING:	
PLANNING:	
ELECTRICAL:	
Mechanical:	
FIRE & SAFETY:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

NOTES

- COUNTER DETAIL @ PICK-UP WALL TO BE IDENTICAL TO BAR WALL EXCEPT PLY. SIDE UP TO BE 1/2" H. SIDE.
- UNDERCOUNTER LIGHTING TYPE "M" TO BE ON WEST SIDE OF WALL ONLY.

© 1978 STATE OF FLORIDA  
THE STATE BOARD OF ARCHITECTS HAS BEEN  
ADVISED BY THE PROPERTY OF THIS  
ARCHITECT AND SHE HEREBY GRANTS  
THE COPYRIGHT PROTECTION AND

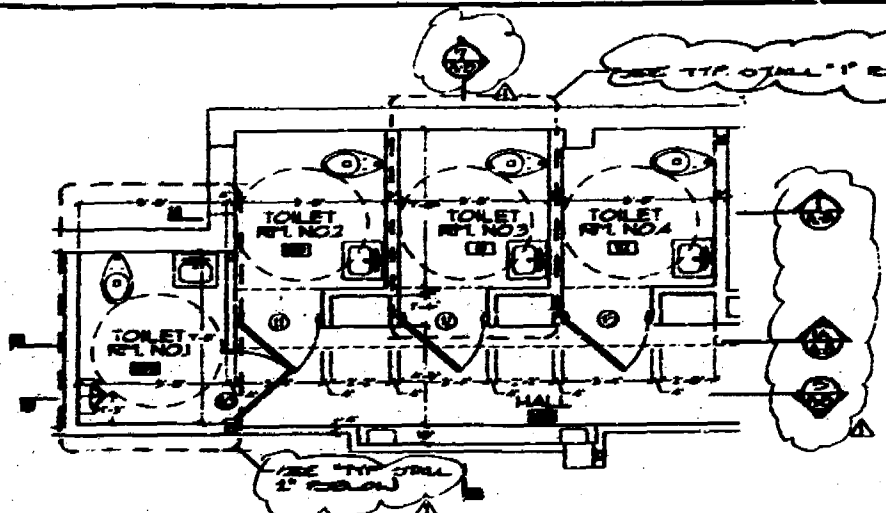
RENOVATIONS TO:  
**BIG PINK**  
187 Collins Avenue  
Miami Beach, Florida 33139

INT. ELEVATIONS  
AND DETAILS

DATE: 07-20-80  
PROJECT: RESTORATION  
BY: [Signature]  
SCALE: 1/4" = 1'-0"  
DRAWN BY: V.B.  
APPROVED: [Signature]

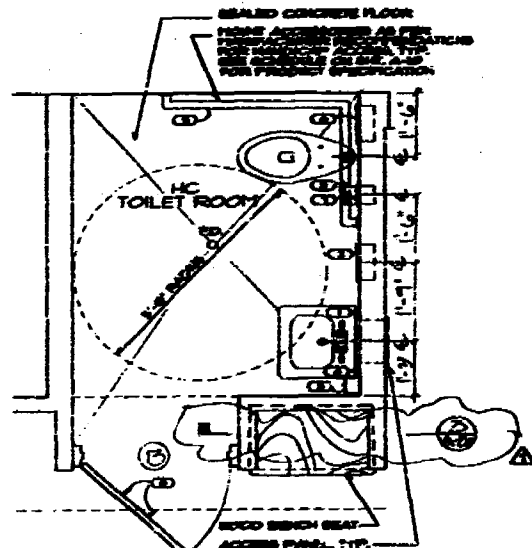
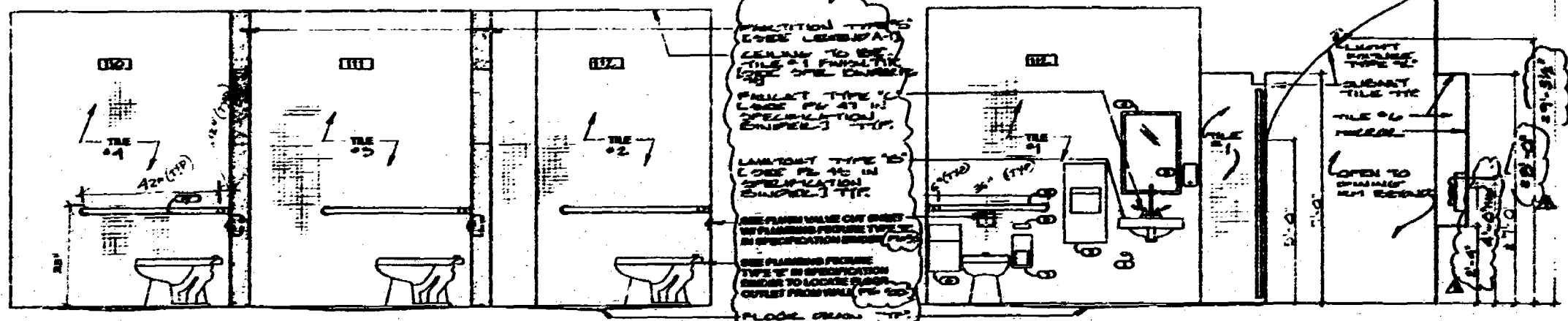
A-7





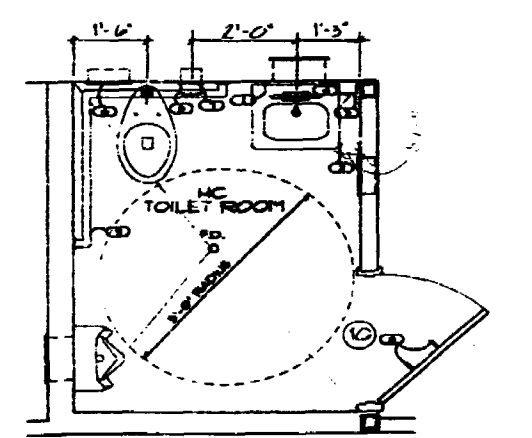
**PUBLIC RESTROOMS**

SCALE 1/4" = 1'-0"



**TYPICAL STALL 1**

SCALE 1/2" = 1'-0"



**TYPICAL STALL 2**

SCALE 1/2" = 1'-0"

TYPE 'C' W/ PALLET TYPE  
NO. 1 TYPICAL

TYPE 'C' W/ FILE DOOR

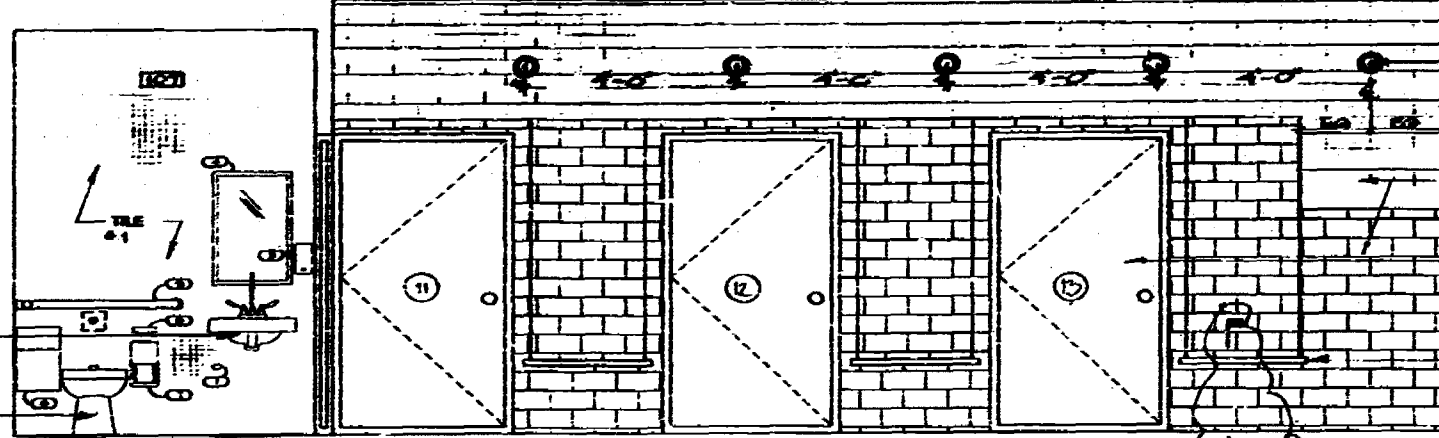
8"-11" W/ 8" ANGLE  
PRESS PILET ONLY  
ALONG MIRROR.  
ATTACH MIRROR  
TO WALL AND  
CROSS MIRROR THEN  
TILE SHALL AND  
COME UP TO  
MIRROR. SPACERS  
TO BE INSTALLED  
BY OWNER NOTED  
PARTICULARLY  
CALLED FOR 1/2" DIA.  
THICK POLYETHYLENE  
FOAM MIRROR TO BE  
SUPPORTED PLACED  
IN TOILET GUARANTEE

**SECTION SOUTH**

SCALE 1/2" = 1'-0"

**SECTION WEST**

SCALE 1/2" = 1'-0"

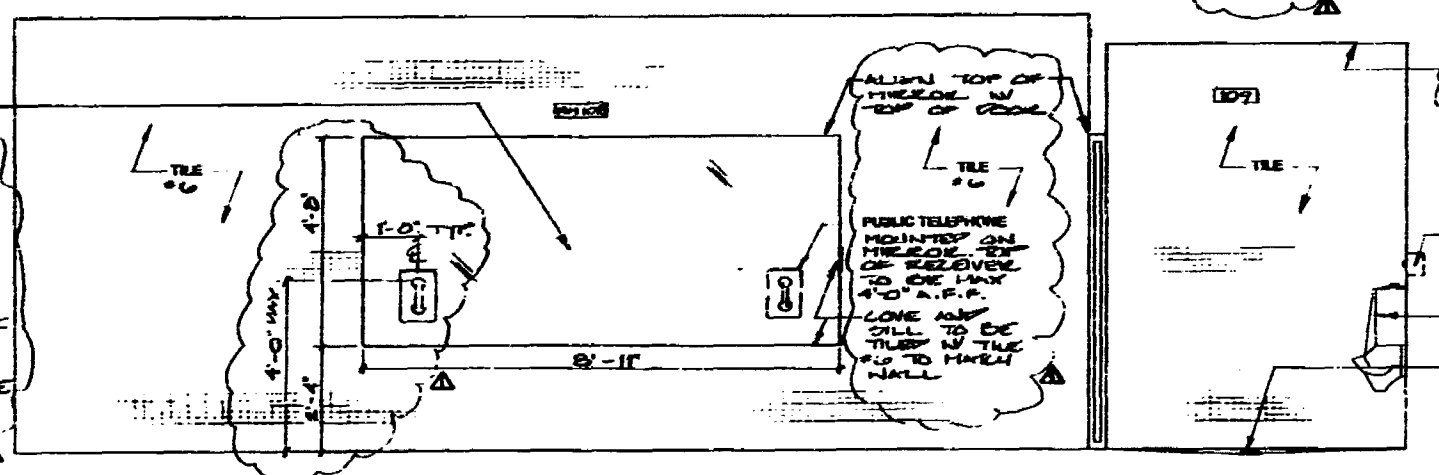


WALL FINISH  
TYPE 'C' WALL  
MOUNTED (SEE A-10) A.F.F.  
BACK TYP. BRICK  
1/2" TYP.

SEE TYP. MIRROR  
SEE SPEC. BENCH TO TYP.  
TYP. OF WALL

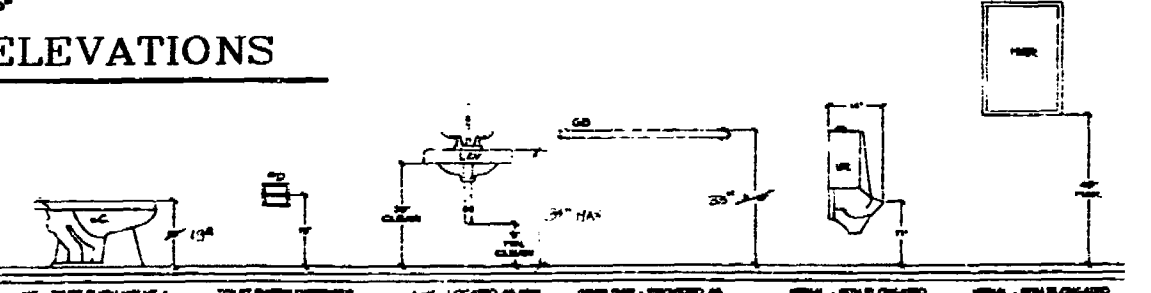
TYPE 'A' DOOR TO  
BE BUSHED TYPICAL  
FINISH FOR TYP. OF  
COLOR TYP. OF TYP.

SOLID MAPLE SEAT OR  
OTHER LOW SEAT  
TO TYPICAL OF SEAT.  
SEE TYP. OF SEAT  
TO SEAT



**INTERIOR ELEVATIONS**

SCALE 1/2" = 1'-0"



1. TOILET SEAT SHALL BE LOCATED 4" FROM WALL TO FRONT OF TOILET SEAT TO CENTER LINE

2. TOILET SEAT SHALL BE LOCATED 4" FROM WALL TO FRONT OF TOILET SEAT TO CENTER LINE

3. TOILET SEAT SHALL BE LOCATED 4" FROM WALL TO FRONT OF TOILET SEAT TO CENTER LINE

4. TOILET SEAT SHALL BE LOCATED 4" FROM WALL TO FRONT OF TOILET SEAT TO CENTER LINE

5. TOILET SEAT SHALL BE LOCATED 4" FROM WALL TO FRONT OF TOILET SEAT TO CENTER LINE

6. TOILET SEAT SHALL BE LOCATED 4" FROM WALL TO FRONT OF TOILET SEAT TO CENTER LINE

CEILING FINISH TO BE TILE  
LOOK A-11

SEE FINISH SCHEDULE  
PC 93 IN SPECIFICATION  
SCHEDULE

USUAL FINISH TYPE 'C'  
SEE PC 40-41 IN SPEC.  
SCHEDULE

FLOOR FINISH TYP.

**OFFICE COPY**

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING:

BUILDING: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE AND SAFETY: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_  
PUBLIC WORKS: \_\_\_\_\_  
STRUCTURAL: \_\_\_\_\_  
ACCESSIBILITY: \_\_\_\_\_  
ELEVATOR: \_\_\_\_\_

- NOTES**
- SEE A-1 FOR PARTITION LEGEND
  - SEE A-10 FOR PLUMBING FIXTURE SCHEDULE
  - SEE A-10 FOR BATHROOM ACCESSORY SCHEDULE
  - SEE SPECIFICATION BINDER FOR BLOCKING REQUIREMENTS FOR EACH ITEM
  - SEE FINISH SCHEDULE FOR TILE LOCATION FORWARD-SOLID IN SPECIFICATION SCHEDULE PC 71-72

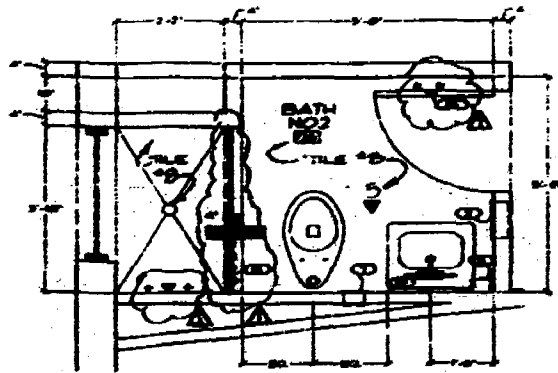
© 1996 STUDIO 100  
THE DESIGN AND DRAWING FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

RENOVATIONS TO:  
**BIG PINK**  
187 Collins Avenue  
Miami Beach, Florida 33139

**PUBLIC RESTROOMS  
ENLARGED PLANS &  
INT. ELEVATIONS**

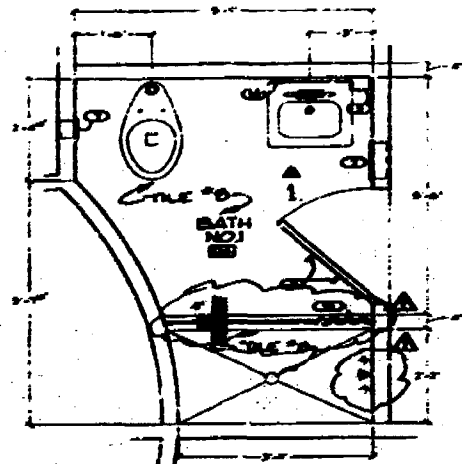
DATE: 07-08-96  
PROJECT CHECKED BY: [Signature]  
SCALE: AS NOTED  
DRAWN BY: V.B.  
DATE: 12/17/96

**A-8**



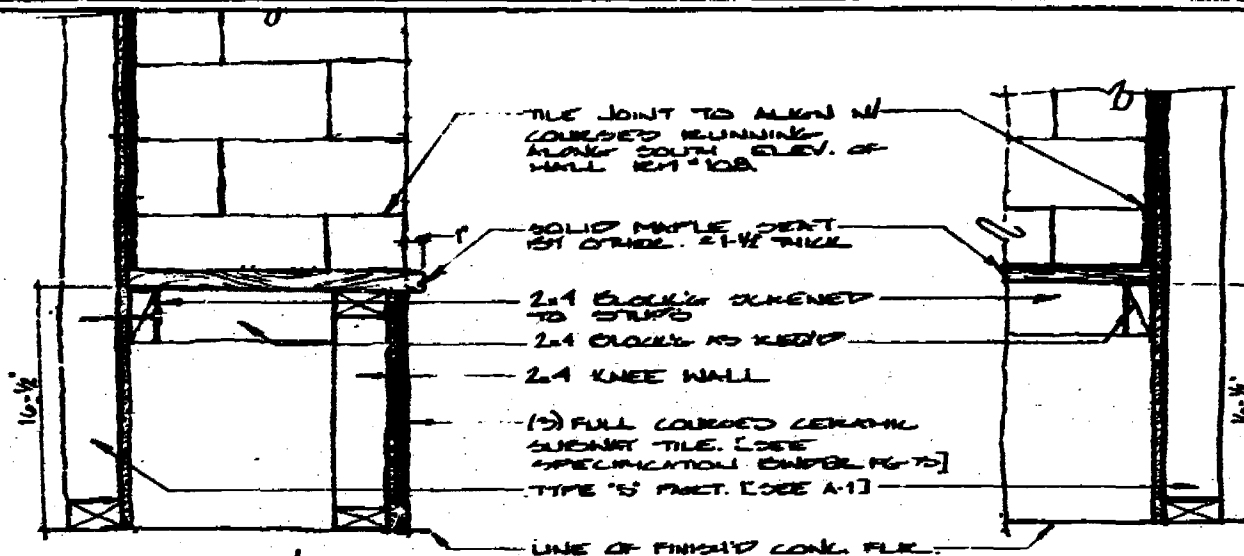
BATHROOM NO.1

SCALE: 1/2" = 1'-0"



BATHROOM NO.2

SCALE: 1/2" = 1'-0"

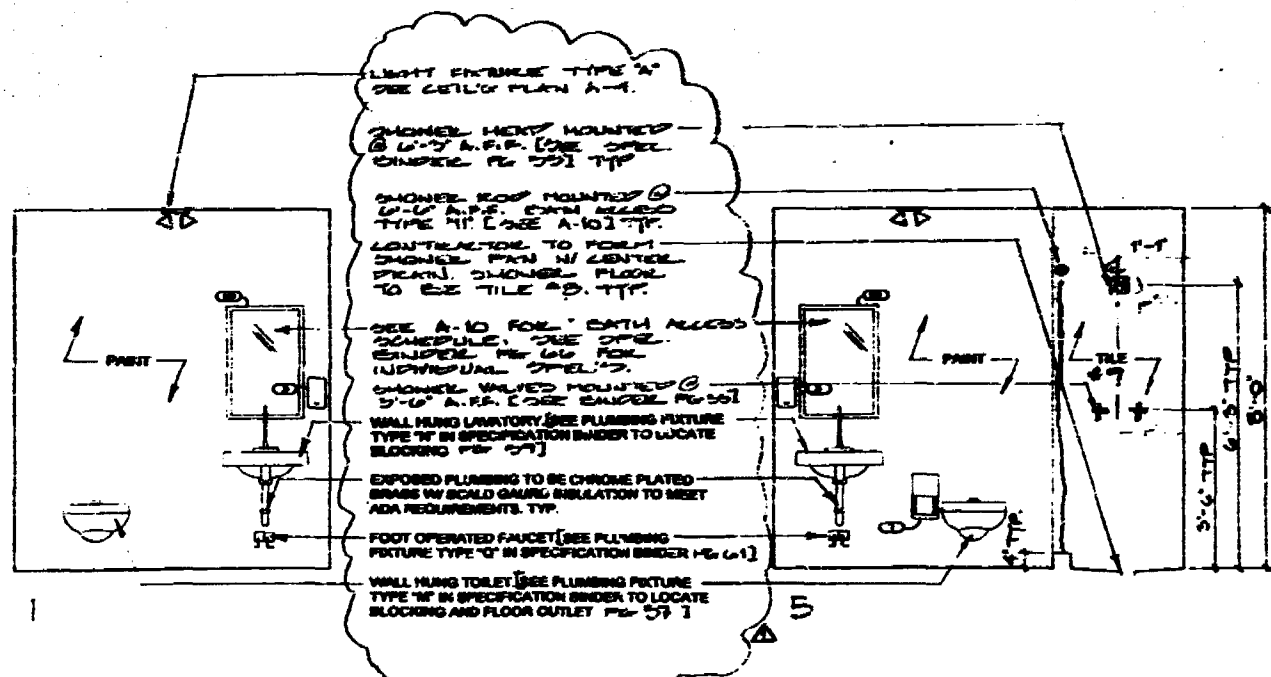


BENCH SECTION

SCALE: 2" = 1'-0"

BENCH SECTION

SCALE: 2" = 1'-0"



INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

OFFICE COPY  
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	
PLUMBING:	
ELECTRICAL:	
Mechanical:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	
ELEVATOR:	

NOTES

- SEE A-1 FOR PARTITION LEGEND
- SEE A-18 FOR PLUMBING FIXTURE SCHEDULE
- SEE A-19 FOR BATHROOM ACCESSORY SCHEDULE
- SEE SPECIFICATION BOOK FOR BLOCKING REQUIREMENTS FOR EACH ITEM
- SEE FINISH SCHEDULE FOR FINISHES-COORDINATION, FINISH AND COLOR, TYPE, ETC. (SAMPLE PG. 7-2)
- SEE A-2 FOR FIXTURE MOUNTING HEIGHTS

© 1996 BY THE ARCHITECT  
ALL RIGHTS RESERVED  
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

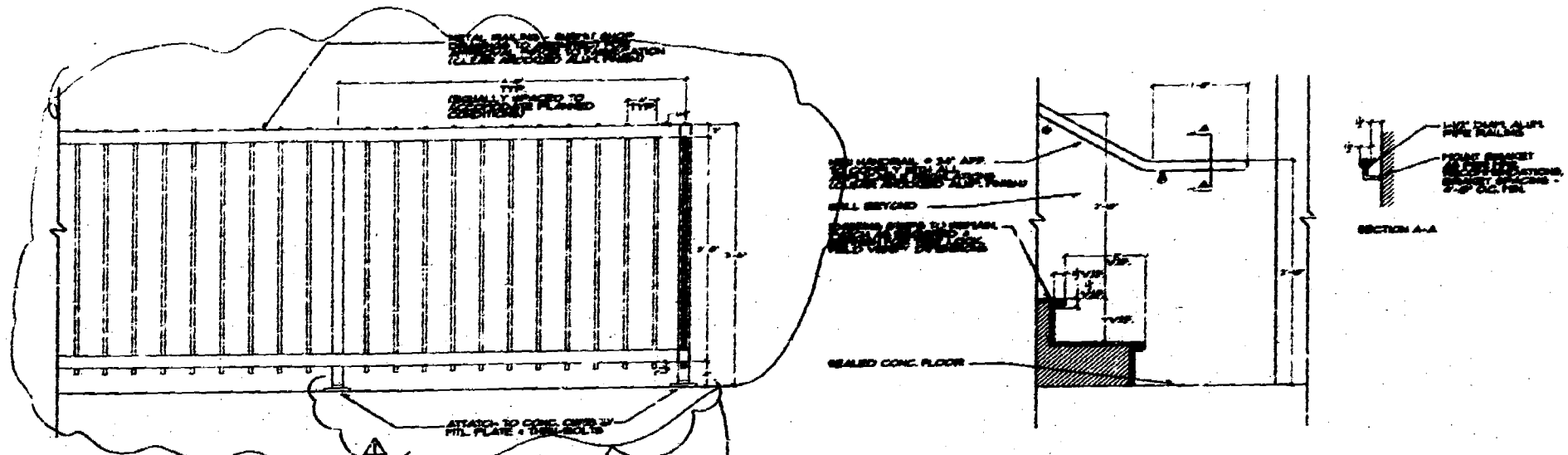
RENOVATIONS TO  
**BIG PINK**  
157 Collins Avenue  
Miami Beach, Florida 33139

INT. ELEVATIONS  
& DETAILS

DATE: 17 JULY 1996

PROJECT NO: 97-00-96  
AS NOTED  
BY: V.B.

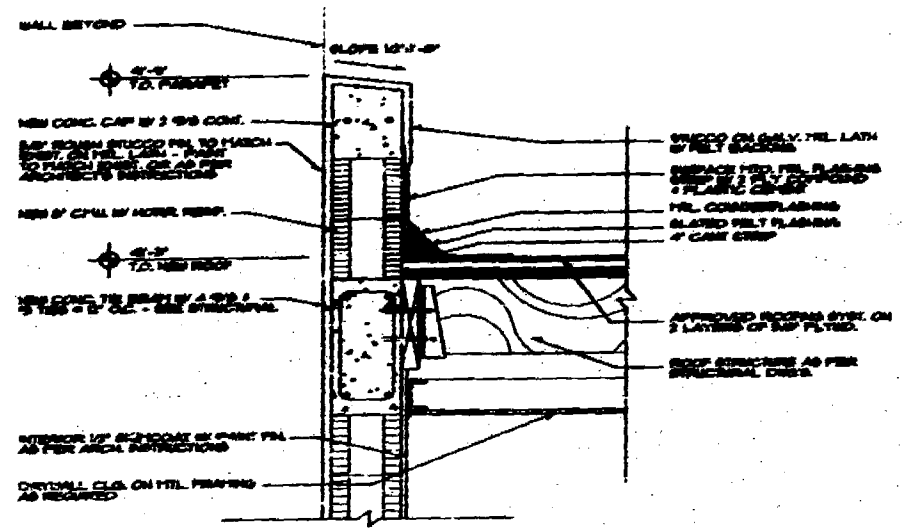
A-8a



1  
A-9  
**RAILING DETAIL**  
SCALE 1" = 1'-0"

*Not part of this permit*

2  
A-9  
**RISER/RAILING DETAIL**  
SCALE 1" = 1'-0"



3  
A-9  
**PARAPET DETAIL**  
SCALE 1" = 1'-0"

**OFFICE COPY**  
CITY OF MIAMI BEACH

Approved for Permit by \_\_\_\_\_

DATE: \_\_\_\_\_

BUILDING	_____
ZONING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accessibility	_____
ELEVATOR	_____

RENOVATIONS TO  
**BIG PINK**  
157 Collins Avenue  
Miami Beach, Florida 33139

DETAILS

Permit No. **07-19-96**

Project Code/Title Code  
BP

Scale AS NOTED

Drawn by V.B.

Checked by \_\_\_\_\_

*[Signature]*

**A-9**

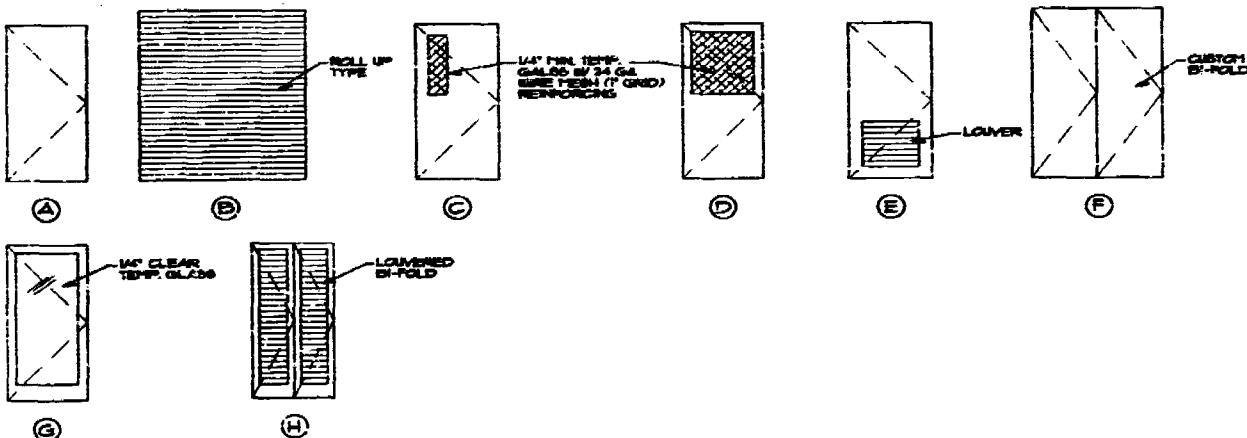
© 1996 BY THE CITY OF MIAMI BEACH. ALL RIGHTS RESERVED. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE RESPONSIBILITY OF THE ARCHITECT AND ENGINEER. THE CITY OF MIAMI BEACH IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT.

**DOOR SCHEDULE**

FLOOR	NO.	TYPE	DOOR SIZE	CORE MATERIAL	FRAME MATERIAL	FRAMES	THRESHOLD	CLOSER	DOOR	FINISH	REMARKS
GROUND FLOOR	1	B	7'-0" x 2'-6"	WOOD	METAL				TRASH ROOM, 1B9 - REOL. UP DOOR		
	2	A	6'-0" x 2'-6"	METAL	METAL				FOYER, UP - IN PEEP HOLE 6'-0" AFF		
	3	C	6'-0" x 2'-6"	METAL	METAL				STORAGE, 1P		
	4								BY PPL		
	5	A	6'-0" x 2'-6"	WOOD	METAL				BY PPL		
	6								BY PPL		
	7								BY PPL		
	8								BY PPL		
	9								BY PPL		
	10								BY PPL		
SECOND FLOOR	11	A	6'-0" x 2'-6"	WOOD	METAL				TOILET ROOM NO. 1, 1B9 - SAT. LOCK BOTH SIDES		
	12	A	6'-0" x 2'-6"	WOOD	METAL				TOILET ROOM NO. 2, 1B9 - SAT. LOCK BOTH SIDES		
	13	A	6'-0" x 2'-6"	WOOD	METAL				TOILET ROOM NO. 3, 1B9 - SAT. LOCK BOTH SIDES		
	14	A	6'-0" x 2'-6"	WOOD	METAL				TOILET ROOM NO. 4, 1B9 - SAT. LOCK BOTH SIDES		
	15	D	7'-0" x 2'-6"	METAL	METAL				STAR, 1B - SHAPED FINISH		
	16	D	7'-0" x 2'-6"	METAL	METAL				STAR, 1B - SHAPED FINISH		
	17	E	6'-0" x 2'-6"	WOOD	METAL				A/C CLOSET, 1T		
	18	A	6'-0" x 2'-6"	WOOD	METAL				VESTIBLE, 1A		
	19	F	7'-0" x 4'-0"	WOOD	WOOD				ROOM A-2, 1B9 - CUSTOM, SEE SH. AT-A		
	20	F	7'-0" x 4'-0"	WOOD	WOOD				ROOM A-3, 1B1 - CUSTOM, SEE SH. AT-A		
	21	F	7'-0" x 4'-0"	WOOD	WOOD				ROOM A-3, 1B1 - CUSTOM, SEE SH. AT-A		
	22	F	7'-0" x 4'-0"	WOOD	WOOD				ROOM A-4, 1B2 - CUSTOM, SEE SH. AT-A		
	23	F	7'-0" x 4'-0"	WOOD	WOOD				ROOM A-4, 1B2 - CUSTOM, SEE SH. AT-A		
	24	F	7'-0" x 4'-0"	WOOD	WOOD				ROOM A-4, 1B2 - CUSTOM, SEE SH. AT-A		
	25	A	6'-0" x 2'-6"	WOOD	METAL				BATH NO. 1, 1B4		
	26	A	6'-0" x 2'-6"	WOOD	METAL				BATH NO. 2, 1B6		
	27	A	6'-0" x 2'-6"	WOOD	METAL				BATH NO. 3, 1B5		
	28	D	6'-0" x 2'-6"	WOOD	METAL				CLOSET, 1B		
	29	D	6'-0" x 2'-6"	WOOD	METAL				CLOSET, 1B		
	30	H	6'-0" x 2'-6"	METAL	METAL				A/C CLOSET, 1T		
	31	E	6'-0" x 2'-6"	WOOD	METAL				STORAGE, 1B		
	32	H	6'-0" x 2'-6"	METAL	METAL				STORAGE, 1B		

\* HARDWARE SETS A-G, REFER TO SPECIFICATIONS FOR HARDWARE DESCRIPTIONS

**DOOR TYPES**



NOTE: VERIFY ALL COLORS AND PAINT FINISH WITH ARCHITECT PRIOR TO PURCHASES

**BATH ACCESSORY SCHEDULE**

TYPE	ROOM	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	QUANTITY	REMARKS
1	TOILET ROOM	HOSE SPOT	CHICAGO FACET	739	POLISHED CHROME	4	ALSO LISTED IN PLUMBING FIXTURE SCHEDULE
2	TOILET ROOM	PAPER TOWEL DISPENSER	ROBBEROCK	8-3000	SANITARY	4	RECESSED
3	TOILET ROOM	SOAP DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
4	TOILET ROOM	SLT FINISHER	ROBBEROCK	8-300-1000	SANITARY	4	SURFACE MOUNTED
5	1. ROOM/HALL	ARMSTRONG	ROBBEROCK	8-300	SANITARY	4	SURFACE MOUNTED
6	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
7	TOILET ROOM	TOILET PAPER DISPENSER	ROBBEROCK	8-300	SANITARY	4	RECESSED
8	TOILET ROOM	CLOSED HOSE	ROBBEROCK	8-300	SANITARY	4	RECESSED
9	TOILET ROOM	GRAB BARS	ROBBEROCK	8-300	SANITARY	4	CONCEALED MOUNTING
10	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
11	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
12	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
13	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED
14	BATHROOM	SHOWER CABINET	ROBBEROCK	8-300	SANITARY	2	RECESSED

**LIGHTING FIXTURE SCHEDULE**

TYPE	ROOM	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	VOLTAGE	QUANTITY	REMARKS
A	GENERAL	GENERAL LIGHTING	RED DOT	L-80	GREY BRUSH	120V	11	SURFACE MOUNTED UTILITY LIGHT
B	ROOM A-1	RECESSED	TRAC	8000-100	TRAC	120V	1	
C	2ND FLOOR	TRACK LIGHTING	TRAC	TRAC	TRAC	120V	10	FOR LAYOUTS - SEE REFL. CLG. PLAN
D	2ND FLOOR	RECESSED CAN	TRAC	TRAC	TRAC	120V	10	
E	2ND FLOOR	CYLIND FIN	TRAC	TRAC	TRAC	120V	10	HOSE DEPOT
F	HALLWAY	2" X 2" RECESSED	TRAC	TRAC	TRAC	120V	10	RECESSED, DAYLIGHT SPECTRUM LAMPS
G	GROUND FLOOR	4" X 4" RECESSED	TRAC	TRAC	TRAC	120V	10	RECESSED, DAYLIGHT SPECTRUM LAMPS
H	GROUND FLOOR	GENERAL LIGHTING	TRAC	TRAC	TRAC	120V	10	GRANDER 10000
I	HOT LINE	RECESSED	TRAC	TRAC	TRAC	120V	10	GRANDER 10000
J	HOT LINE	RECESSED	TRAC	TRAC	TRAC	120V	10	GRANDER 10000
K	TOILET ROOM	TRANSFORMER	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED
L	TOILET ROOM	TRANSFORMER	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED
M	BATH	RECESSED	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED
N	BATH ROOM	RECESSED	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED
O	BATHROOM	RECESSED	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED
P	BATHROOM	RECESSED	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED
Q	BATH	RECESSED	TRAC	TRAC	TRAC	120V	10	TRANSFORMER REPORTS LOCATION LAMP APPLIED

**PLUMBING FIXTURE SCHEDULE**

TYPE	ROOM	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	QUANTITY	REMARKS
A	1B9-B	HOSE SPOT	CHICAGO FACET	739	POLISHED CHROME	4	REMOVABLE HANDLE
B	1B9-B	STAINLESS STEEL SPN.	BRADLEY	80-100	BATH	4	1/4" FN. FAUCET, REQUIRES REAR ACCESS PANEL
C	1B9-B	FAUCET	BRADLEY	80-10	CHROME	4	
D	1B9	STAINLESS URINAL	BRADLEY	80-20000	BATH STAINLESS	1	REQUIRES FLUSH VALVE BOX
E	1B9-B	STAINLESS TOILET	BRADLEY	10000	BATH STAINLESS	4	REQUIRES FLUSH VALVE BOX
F	1B9-B	FLOOR DRAIN	BRADLEY	10000	STAINLESS STEEL	4	
G	1B9-B	ACCESS BOX	BRADLEY	10000	BATH STAINLESS	4	
H	1B9-B	SHOWER HEAD	CHICAGO FACET	739	CHROME	2	WITHOUT DECK PLATE
I	2ND FLOOR	SHOWER VALVE	CHICAGO FACET	739	CHROME	2	WITHOUT HEAD OR ARM
J	2ND FLOOR	FLUSH VALVE	CHICAGO FACET	739	CHROME	2	
K	2ND FLOOR	FLUSH VALVE	CHICAGO FACET	739	CHROME	2	
L	2ND FLOOR	TOILET	AMERICAN STANDARD	2800	WHITE	2	SMALL EL. 16
M	2ND FLOOR	LAVATORY	AMERICAN STANDARD	1400	WHITE	2	
N	2ND FLOOR	LAV. FAUCET BRUSH	CHICAGO FACET	600-FC	CHROME	2	
O	2ND FLOOR	LAV. FAUCET VALVE	CHICAGO FACET	600-FC	CHROME	2	
P	2ND FLOOR	LAV. FAUCET DRAIN	CHICAGO FACET	600-FC	CHROME	2	
Q	2ND FLOOR	SHOWER DRAIN	CHICAGO FACET	600-FC	CHROME	2	
R	2ND FLOOR	SHOWER VALVE	CHICAGO FACET	600-FC	CHROME	2	
S	1B9-B	FLUSH VALVE	CHICAGO FACET	600-FC	CHROME	2	STAINLESS STEEL FOR TOILET TYPE 'E'
T	1B9-B	FLUSH VALVE	CHICAGO FACET	600-FC	CHROME	2	FOR URINAL TYPE 'D'

RENOVATIONS TO:  
**BIG PINK**  
167 Collins Avenue  
Miami Beach, Florida 33139

SCHEDULES & SPECIFICATIONS

DATE: 07-15-96  
REVISED: 08-07-96

OFFICE COPY  
CITY OF MIAMI BEACH

APPROVED FOR CONSTRUCTION BY:  
[Signature]

DATE: 07-28-96

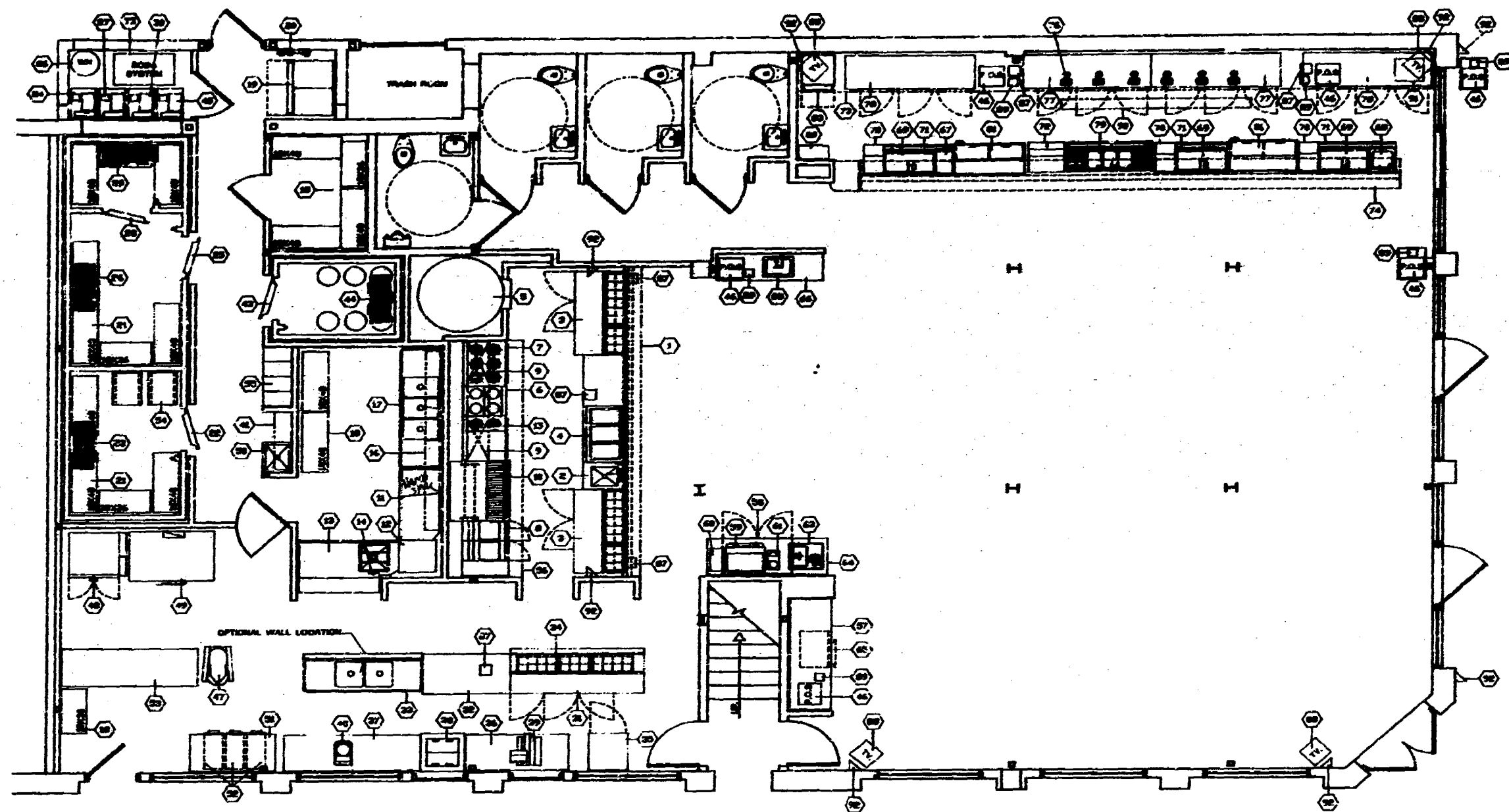
PROJECT: 00077110-0000

SCALE: AS SHOWN

DESIGNED BY: V.B.

DATE: 07/17/96

A-10



**OFFICE COPY**  
City of Miami Beach

Approved for purchase of  
the following:  
BUREAU: \_\_\_\_\_  
PURCHASE: \_\_\_\_\_  
EXHIBIT: \_\_\_\_\_  
FURNITURE: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
PUBLIC WORKS: \_\_\_\_\_  
STRUCTURAL: \_\_\_\_\_  
ACCESSIBILITY: \_\_\_\_\_  
ELEVATOR: \_\_\_\_\_

ITEM	QTY	DESCRIPTION
1	1	COUNTER SERVICE W/OVER SHELF
2	1	CABINET W/HAND SINK
3	3	PIZZA TABLE REFRIGERATED
4	1	DISH-WASH HOT FOOD TABLE
5	1	PIZZA OVEN
6	1	14 BURNER W/OV
7	1	18 BURNER RANGE
8	1	WATTAGE SPRAYER W/DUMP STATION
9	1	SALAMANDER
10	2	CHAM-BROILER W/WIRERISE
11	1	CLEAN DISHTABLE
12	1	DISHWASHER
13	1	SOIL DISHTABLE
14	1	PRE-RINSE FAUCET
15	1	20 BURNER RANGE W/GRIDDLE
16	1	WALK SHELF
17	1	28 COMPARTMENT SINK
18	LOT	STORAGE SHELVES
19	1	ICE MACHINE W/SIN
20	1	WATER FILTER
21	LOT	COOLER/FREEZER SHELVING
22	1	WALK-IN BAKERY COOLER
23	1	EVAPORATOR COIL
24	1	COMPRESSOR
25	1	WALK-IN COOLER
26	1	EVAPORATOR COIL
27	1	COMPRESSOR
28	1	WALK-IN FREEZER
29	1	EVAPORATOR COIL
30	1	COMPRESSOR
31	1	PIZZA TABLE REFRIGERATED
32	1	WORK TABLE
33	1	WORK TABLE W/22 SINK
34	1	DOUBLE OVERSHELF
35	1	GLASS DOOR REFRIGERATOR
36	1	WORK TABLE
37	1	WORK TABLE
38	1	ICE CREAM FREEZER
39	1	SLICER
40	1	FOOD PROCESSOR
41	1	WALL SHELF
42	1	OVEN WARMER
43	1	WALK-IN BEER COOLER
44	1	EVAPORATOR COIL
45	1	COMPRESSOR
46	5	P.A.S.
47	1	SEWER
48	1	CONVECTION OVEN
49	1	DECK OVEN
50	1	MOP SINK
51	1	BAKER TABLE
52	3	INGREDIENT SINK
53	1	WORK TABLE
54	1	BREAD WARMER
55	1	COUNTER CABINET
56	1	DRAINBOARD
57	1	HAND SINK
58	1	ICE CHEST
59	3	BLENDER STATION
60	1	BOTTLE RAIL
61	3	GLASS WASHER
62	1	BACK BAR COUNTER
63	1	BAR COUNTER
64	1	SODA SYSTEM
65	1	DISPENSING HEAD & DRAINER
66	1	DIRECT DRAW DRAFT BEER DISPENSER
67	2	131 DOOR BACK BAR REFRIGERATOR
68	1	131 COMPARTMENT BAR SINK
69	1	TASH CAN
70	2	BOTTLE COOLER
71	1	OPEN NUMBER
72	1	ICE MACHINE
73	1	OPEN NUMBER
74	1	ICE CHEST W/GUN
75	1	WATER HEATER
76	6	PRINTER
77	4	TV MONITOR
78	6	CREDIT CARD
79	1	DROP SCREEN TV
80	1	STEREO SYSTEM
81	1	SPEAKER



**ARROW**  
INDUSTRIES CORP.  
RESTAURANT  
EQUIPMENT  
FURNISHING & SUPPLIES

2800 SW. 87th STREET  
MIAMI, FLORIDA 33156 S.W.A.  
PHONE 530-4300  
FAX 530-4300

DATE	DESCRIPTION	NO.

**BIG PINK**

DATE: 3-3-86  
SCALE: 1/4"=1'-0"  
DRAWN BY: RPH

**JOB # 29621**

SHEET TITLE  
**FOOD SERVICE  
EQUIPMENT**

SHEET  
**Q-1**  
OF 3 SHEETS



2000 NW 80TH STREET  
MIAMI, FLORIDA 33142 U.S.A.  
PHONE (305) 859 8800  
FAX (305) 859 8800

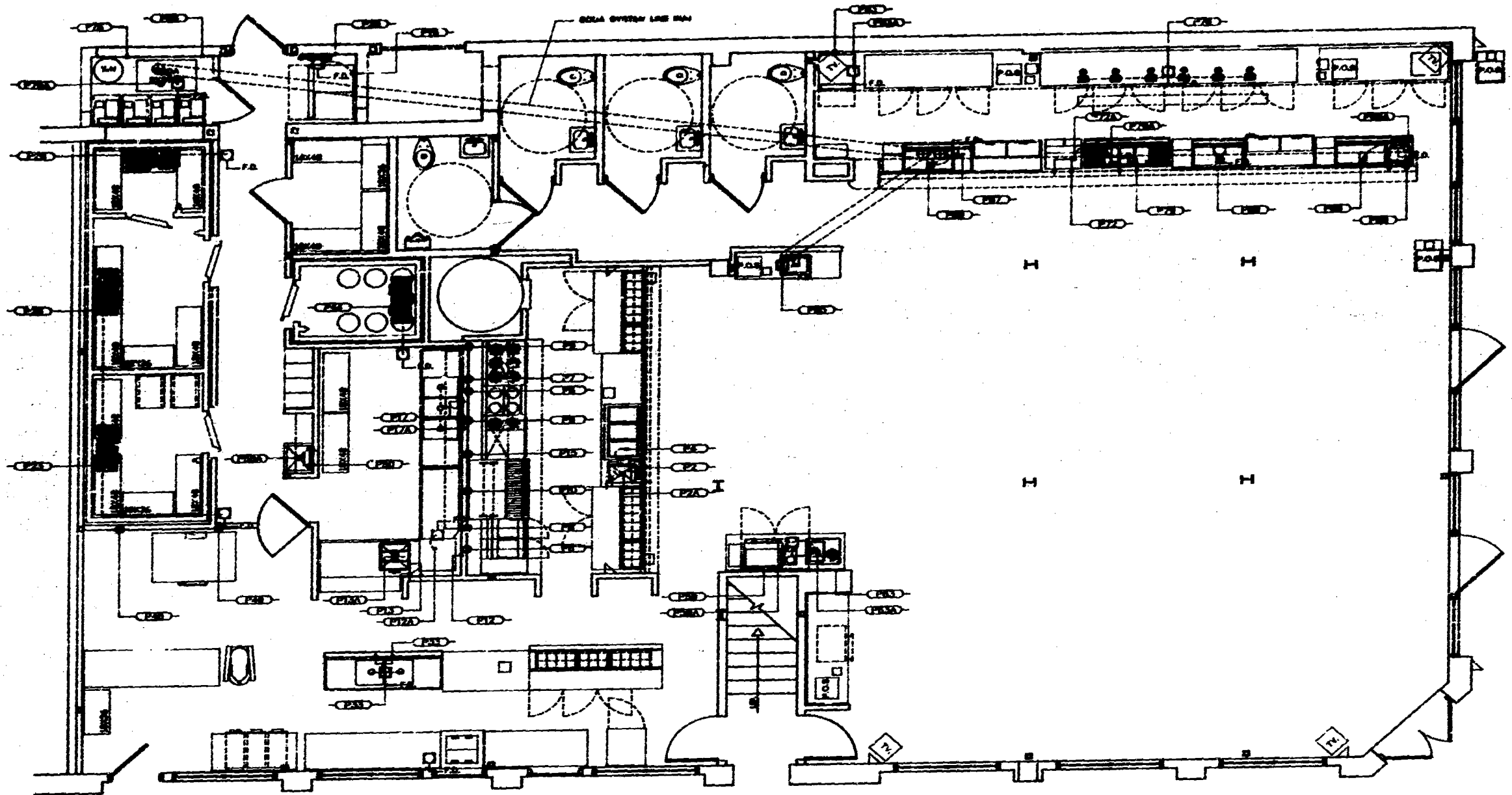
DATE	DESCRIPTION	NO.

BIG PINK

DATE: 8-3-88  
SCALE: 1/4"=1'-0"  
DRAWN BY: RPH  
JOB # 29621

SHEET TITLE  
**PLUMBING  
ROUGH-IN**

SHEET  
**Q-2**



**SCHEDULE OF SYMBOLS/NOTES**

P-2 = 1/2" HW.-CW. +4" AFF. (FOR ITEM #2 & #3)	P-80A = 1" LWASTE TO FLOOR DRAIN
P-2A = 2" LWASTE TO FLOOR DRAIN	P-80B = 1" LWASTE TO FLOOR DRAIN
P-4 = 1" LWASTE TO FLOOR DRAIN	P-72 = 1/2" HW.-CW. +12" AFF.
P-6 = 3/4" GAS CONN. 120 MBTU. +22" AFF.	P-72A = 1 1/2" LWASTE TO FLOOR DRAIN
P-7 = 3/4" GAS CONN. 155 MBTU. +30" AFF.	P-75 = 1/2" CW. +12" AFF.
P-8 = 3/4" GAS CONN. 120 MBTU. +20" AFF.	P-75A = 2" LWASTE TO FLOOR DRAIN
P-9 = 3/4" GAS CONN. 20 MBTU. +80" AFF.	P-76 = 2" LWASTE TO FLOOR DRAIN
P-10 = 3/4" GAS CONN. 100 MBTU. +25" AFF. (VERIFY)	P-78 = 1/2" HW.-CW. +12" AFF.
P-12 = 3/4" HW. @ 120 DG. MIN. +12" AFF. (RUN TO DISHWASHER)	P-78A = 2" LWASTE TO FLOOR DRAIN
P-12A = 2" LWASTE TO FLOOR DRAIN	P-83 = 1" LWASTE TO FLOOR SINK
P-13 = 1/2" HW.-CW. +12" AFF.	P-83A = 1/2" HW.-CW. +4" AFF.
P-13A = 2" WASTE +12" AFF.	P-85 = 1" WASTE TO FLOOR DRAIN
P-15 = 3/4" GAS CONN. 105 MBTU. +30" AFF.	P-86 = 1/2" CW. +12" AFF.
P-17 = 1/2" HW.-CW. +12" AFF.	
P-17A = 2" WASTE +12" AFF.	
P-19 = 1" LWASTE TO FLOOR DRAIN	
P-20 = 1/2" CW. +4" AFF.	
P-23 = 1" LWASTE TO FLOOR DRAIN	
P-26 = 1" LWASTE TO FLOOR DRAIN	
P-29 = 1" LWASTE TO FLOOR DRAIN	
P-33 = 1/2" HW.-CW. +4" AFF.	
P-33A = 2" WASTE TO FLOOR DRAIN	
P-44 = 1" LWASTE TO FLOOR DRAIN	
P-46 = (2) 3/4" GAS CONN. 85 MBTU. (EACH) +10" & 42" AFF.	
P-48 = 3/4" GAS CONN. 111 MBTU. +12" AFF.	
P-50 = 1/2" HW.-CW. +38" AFF.	
P-50A = 2" WASTE + (-8)" AFF.	
P-59 = 1/2" CW. +4" AFF.	
P-80A = 1" LWASTE TO FLOOR DRAIN	
P-83 = 1/2" CW. +12" AFF.	
P-83A = 1" LWASTE TO FLOOR DRAIN	
P-87 = 1" LWASTE TO FLOOR DRAIN	
P-88 = 1/2" HW.-CW. +12" AFF.	

**LEGEND**

○	WATER
○	COLD WATER
○	HOT WATER
○	SEWER
○	VENT
○	EXHAUST
○	CONDENSATE
○	LIQUID
○	GAS
○	STEAM
○	REF. COOLING
○	REF. CONDENSATE
○	REF. HOT WATER
○	REF. EXHAUST
○	REF. VENT
○	REF. LIQUID
○	REF. GAS
○	REF. STEAM

**MECHANICAL NOTES**

- 1) THE DRAWING LOCATES MECHANICAL POINTS OF CONNECTION FOR EACH ITEM OF FOOD SERVICE EQUIPMENT. THE DESIGN OF SYSTEMS TO ACCOMMODATE THIS REQUIREMENT IS BY OTHERS AND IS TO BE IN ACCORDANCE WITH ALL LOCAL CODES AND MEET THE APPROVAL OF ALL GOVERNING AUTHORITIES. LOCATION, SIZE AND HEIGHT ABOVE FLOOR ARE APPROXIMATELY AS SHOWN ON THESE PLANS WILL BE DONE MECHANICAL (PLUMBING) CONTRACTOR.
- 2) ALL PLUMBING MATERIALS, TRAPS, VALVES SHUT OFF, REDUCING VALVES, GAUGES AND FITTINGS NECESSARY TO FORM COMPLETE HOODING UP EQUIPMENT FROM POINT OF CONNECTION TO ROUGH-IN AS SHOWN ON THESE PLANS WILL BE DONE MECHANICAL (PLUMBING) CONTRACTOR.
- 3) WATER PRESSURE IN EQUIPMENT AREA SHOULD NOT EXCEED 2.5 KG/CM2 (35 PSI) IN BOTH THE MAIN HOT AND COLD WATER LINES. THE WATER PRESSURE TO DISHWASHER AND HOODERS SHOULD NOT EXCEED 2.5 KG/CM2 (35 PSI). IF PRESSURE EXCEEDS ABOVE LIMITS, MECHANICAL CONSULTANT SHALL SUPPLY AND CONNECT PRESSURE REDUCING VALVES. ANY PRESSURE REDUCING VALVE SHOULD MEET MANUFACTURER'S PLUMBING RECOMMENDATIONS.
- 4) RECOMMENDED HOT WATER TEMPERATURE IN KITCHEN: 60 C (140 F).
- 5) HOT AND COLD WATER SUPPLY TO DISHWASHER AREA AND ICE MACHINES SHOULD BE TREATED AND SUPPLIED TO A MINIMUM OF 17-51 PSI (0-3 BAR/PSI) MECHANICAL CONTRACTOR TO SUPPLY INSTALL AND CONNECT FILTERS AND SOFTENING PLANT.
- 6) ONLY THE DRAWING MUST BE USED IN CONJUNCTION WITH MECHANICAL DRAWINGS FOR OTHERS REQUIRED UTILITIES.

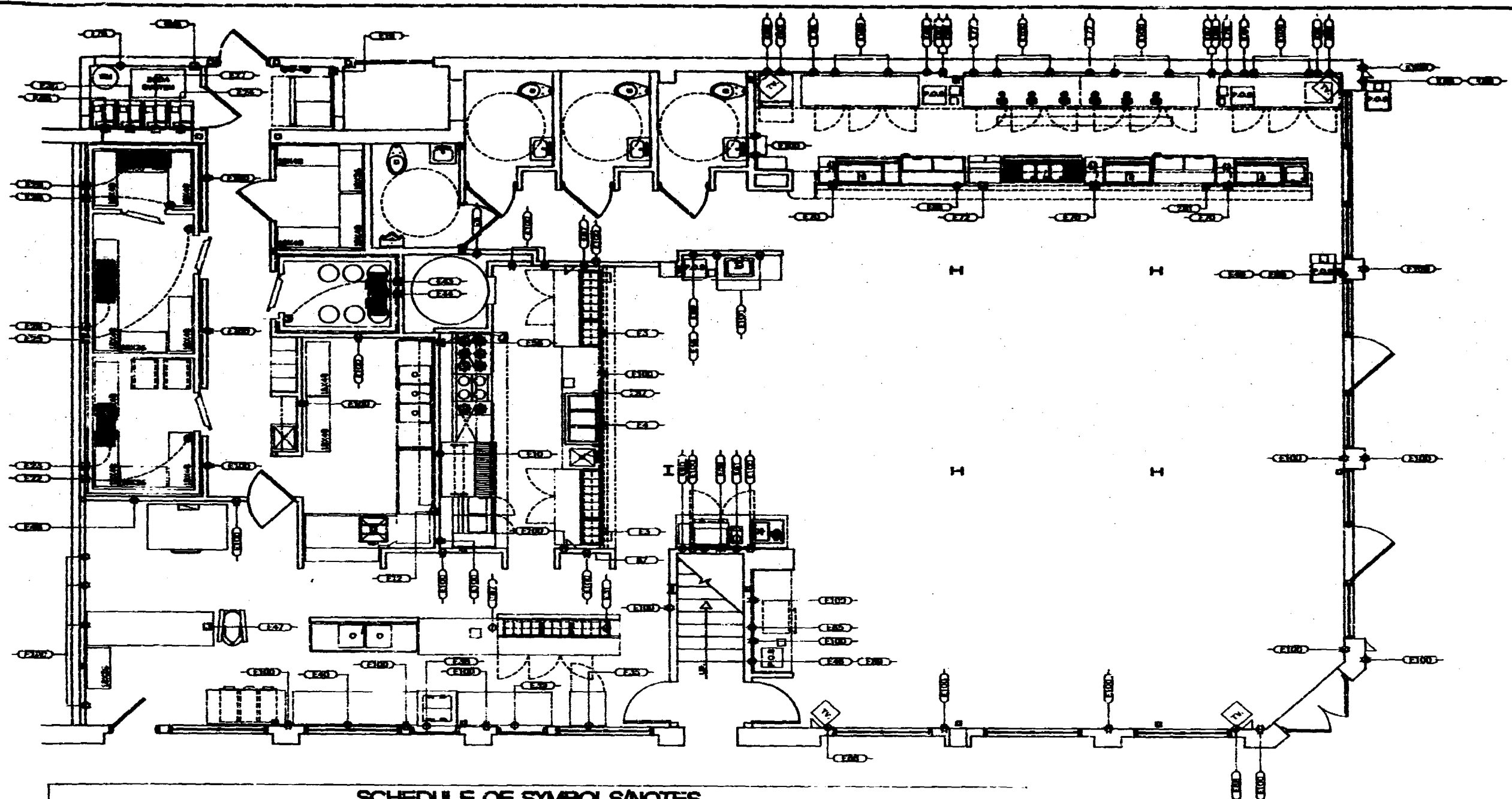
**OFFICE COPY**

CITY OF MIAMI BEACH

APPROVED AND SIGNED BY

\_\_\_\_\_  
 BUILDING  
 ZONING  
 PLUMBING  
 ELECTRICAL  
 PUBLIC WORKS  
 STRUCTURAL  
 ACCESSIBILITY  
 ELEVATOR





**SCHEDULE OF SYMBOLS/NOTES**

E-3	=	120V/1PH/60Hz 1/3 HP. +4" AFF.	E-70	=	120V/1PH/60Hz 11.5 AMPS.(EACH) +12" AFF.
E-4	=	200-230V/1PH/60Hz 3/3.7. +4" AFF.	E-72	=	115-230V/1PH/60Hz 2 KW. +12" AFF.
E-5	=	120V/1PH/60Hz 20 AMPS. +12" AFF.	E-75	=	(EQUIPMENT BY OTHERS VERIFY ELECTRICAL REQUIREMENTS WITH SUPPLIER)
E-10	=	120V/1PH/60Hz 1/20 HP. +12" AFF.	E-77	=	120V/1PH/60Hz 1/3 HP. +12" AFF.
E-12	=	200-230V/1PH/60Hz 30 AMPS. (1 HP.) +12" AFF.	E-78	=	120V/1PH/60Hz 1/3 HP. +12" AFF.
E-18	=	200-230V/1PH/60Hz 20 AMPS. +80" AFF.	E-81	=	120V/1PH/60Hz 1/3 HP. +48" AFF.
E-22	=	120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)	E-83	=	120V/1PH/60Hz 1/2 HP. +12" AFF.
E-23	=	208V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)	E-86	=	(EQUIPMENT BY OTHERS VERIFY ELECTRICAL REQUIREMENTS WITH SUPPLIER)
E-24	=	208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	E-87	=	COORDINATE INSTALLATION AS REQ.
E-25	=	120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)	E-88	=	COORDINATE INSTALLATION AS REQ.
E-28	=	120V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)	E-89	=	COORDINATE INSTALLATION AS REQ.
E-27	=	208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)	E-91	=	120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)
E-28	=	120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)	E-100	=	120V/1PH/60Hz 20 AMPS. (UTILITY) +48" AFF.
E-29	=	120V/1PH/60Hz 20 AMPS. +108" AFF.(FREEZER COIL)			
E-30	=	208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)			
E-31	=	120V/1PH/60Hz 1/4 HP. +4" AFF.			
E-35	=	120V/1PH/60Hz 1/4 HP. +90" AFF.			
E-38	=	120V/1PH/60Hz 1/5 HP. +12" AFF.			
E-39	=	120V/1PH/60Hz 20 AMPS. +48" AFF.			
E-40	=	120V/1PH/60Hz 20 AMPS. +48" AFF.			
E-43	=	120V/1PH/60Hz 20 AMPS. +108" AFF.(FOR LIGHT ETC.)			
E-44	=	208V/1PH/60Hz 20 AMPS. +108" AFF.(COOLER COIL)			
E-45	=	208V/3PH/60Hz 1 HP. +108" AFF. (REMOTE COMPRESSOR)			
E-48	=	120V/1PH/60Hz 20 AMPS. +48" AFF. (DEDICATED CIRCUIT)			
E-47	=	230V/1PH/60Hz 2 HP. +4" AFF.			
E-48	=	120V/1PH/60Hz 1/3 HP. (EACH) +36/108" AFF.			
E-56	=	120V/1PH/60Hz 20 AMPS. HOOD LIGHTS JB. +108" AFF. ON & OFF SWITCH MOUNT +80" AFF. W/ANSUL FIRE SUPP. SYSTEM			
E-58	=	120V/1PH/60Hz 1/5 HP. +12" AFF.			
E-59	=	120V/1PH/60Hz 20 AMPS. +48" AFF.			
E-60	=	120V/1PH/60Hz 20 AMPS. +48" AFF.			
E-61	=	120V/1PH/60Hz 20 AMPS. +48" AFF.			
E-65	=	120V/1PH/60Hz 7.5 AMPS. (800 WATTS.) +48" AFF.			

**LEGEND**

CLASS	SYMBOL	DESCRIPTION
1	[Symbol]	NEW WIRE
2	[Symbol]	EXISTING WIRE
3	[Symbol]	REMOVE WIRE
4	[Symbol]	REMOVE WIRE
5	[Symbol]	REMOVE WIRE
6	[Symbol]	REMOVE WIRE
7	[Symbol]	REMOVE WIRE
8	[Symbol]	REMOVE WIRE
9	[Symbol]	REMOVE WIRE
10	[Symbol]	REMOVE WIRE
11	[Symbol]	REMOVE WIRE
12	[Symbol]	REMOVE WIRE
13	[Symbol]	REMOVE WIRE
14	[Symbol]	REMOVE WIRE
15	[Symbol]	REMOVE WIRE
16	[Symbol]	REMOVE WIRE
17	[Symbol]	REMOVE WIRE
18	[Symbol]	REMOVE WIRE
19	[Symbol]	REMOVE WIRE
20	[Symbol]	REMOVE WIRE
21	[Symbol]	REMOVE WIRE
22	[Symbol]	REMOVE WIRE
23	[Symbol]	REMOVE WIRE
24	[Symbol]	REMOVE WIRE
25	[Symbol]	REMOVE WIRE
26	[Symbol]	REMOVE WIRE
27	[Symbol]	REMOVE WIRE
28	[Symbol]	REMOVE WIRE
29	[Symbol]	REMOVE WIRE
30	[Symbol]	REMOVE WIRE
31	[Symbol]	REMOVE WIRE
32	[Symbol]	REMOVE WIRE
33	[Symbol]	REMOVE WIRE
34	[Symbol]	REMOVE WIRE
35	[Symbol]	REMOVE WIRE
36	[Symbol]	REMOVE WIRE
37	[Symbol]	REMOVE WIRE
38	[Symbol]	REMOVE WIRE
39	[Symbol]	REMOVE WIRE
40	[Symbol]	REMOVE WIRE
41	[Symbol]	REMOVE WIRE
42	[Symbol]	REMOVE WIRE
43	[Symbol]	REMOVE WIRE
44	[Symbol]	REMOVE WIRE
45	[Symbol]	REMOVE WIRE
46	[Symbol]	REMOVE WIRE
47	[Symbol]	REMOVE WIRE
48	[Symbol]	REMOVE WIRE
49	[Symbol]	REMOVE WIRE
50	[Symbol]	REMOVE WIRE
51	[Symbol]	REMOVE WIRE
52	[Symbol]	REMOVE WIRE
53	[Symbol]	REMOVE WIRE
54	[Symbol]	REMOVE WIRE
55	[Symbol]	REMOVE WIRE
56	[Symbol]	REMOVE WIRE
57	[Symbol]	REMOVE WIRE
58	[Symbol]	REMOVE WIRE
59	[Symbol]	REMOVE WIRE
60	[Symbol]	REMOVE WIRE
61	[Symbol]	REMOVE WIRE
62	[Symbol]	REMOVE WIRE
63	[Symbol]	REMOVE WIRE
64	[Symbol]	REMOVE WIRE
65	[Symbol]	REMOVE WIRE
66	[Symbol]	REMOVE WIRE
67	[Symbol]	REMOVE WIRE
68	[Symbol]	REMOVE WIRE
69	[Symbol]	REMOVE WIRE
70	[Symbol]	REMOVE WIRE
71	[Symbol]	REMOVE WIRE
72	[Symbol]	REMOVE WIRE
73	[Symbol]	REMOVE WIRE
74	[Symbol]	REMOVE WIRE
75	[Symbol]	REMOVE WIRE
76	[Symbol]	REMOVE WIRE
77	[Symbol]	REMOVE WIRE
78	[Symbol]	REMOVE WIRE
79	[Symbol]	REMOVE WIRE
80	[Symbol]	REMOVE WIRE
81	[Symbol]	REMOVE WIRE
82	[Symbol]	REMOVE WIRE
83	[Symbol]	REMOVE WIRE
84	[Symbol]	REMOVE WIRE
85	[Symbol]	REMOVE WIRE
86	[Symbol]	REMOVE WIRE
87	[Symbol]	REMOVE WIRE
88	[Symbol]	REMOVE WIRE
89	[Symbol]	REMOVE WIRE
90	[Symbol]	REMOVE WIRE
91	[Symbol]	REMOVE WIRE
92	[Symbol]	REMOVE WIRE
93	[Symbol]	REMOVE WIRE
94	[Symbol]	REMOVE WIRE
95	[Symbol]	REMOVE WIRE
96	[Symbol]	REMOVE WIRE
97	[Symbol]	REMOVE WIRE
98	[Symbol]	REMOVE WIRE
99	[Symbol]	REMOVE WIRE
100	[Symbol]	REMOVE WIRE

**OFFICE COPY**

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY:

BUILDING	_____
PLUMBING	_____
ELECTRICAL	_____
Mechanical	_____
Structural	_____
Accessibility	_____
Elevator	_____

- ELECTRICAL NOTES:**
- 1) THIS DRAWING LOCATES ELECTRICAL POINTS OF CONNECTION FOR EACH ITEM OF FOOD SERVICE EQUIPMENT. THE DESIGN OF SYSTEMS TO ACCOMMODATE THIS EQUIPMENT IS BY OTHERS AND IS TO BE IN ACCORDANCE WITH ALL LOCAL CODES AND MEET THE APPROVAL OF ALL GOVERNING AUTHORITIES. LOCATION, SIZE AND HEIGHTS ABOVE FLOOR ARE APPROXIMATELY.
  - 2) ALL MAIN SWITCHES, SAFETY CUT OUTS, FUSES BOXES, DISCONNECTS SWITCHES AND/OR OTHER ELECTRICAL CONTROLS, FITTINGS AND CONNECTIONS IN KITCHEN AND OTHER AREAS SHALL BE FURNISHED AND INSTALLED BY MECHANICAL (ELECTRICAL) CONTRACTORS.
  - 3) FIRE PROTECTION SYSTEMS SHALL BE WIRING TO THE ELECTRICAL EMERGENCY SERVICE. ALL ELECTRICAL CONTROLS SWITCHES REQUIRED FOR VENT EXHAUST AND FIRE PROTECTION SYSTEMS SHALL BE FURNISHED AND INSTALLED BY OTHERS UNLESS SPECIFIED OTHERWISE.
  - 4) ALL ELECTRICAL WIRING CONNECTION CONDUIT AND EXTERNAL CONNECTION FROM POINT OF CONNECTION ON EQUIPMENT TO HOUSE-UP POINT AS SHOWN ON THESE PLANS WILL BE DONE BY MECHANICAL (ELECTRICAL) CONTRACTOR.
  - 5) UNLESS OTHERWISE IS SPECIFIED IN THIS DRAWING ALL WIRING METHODS EXCEEDING 1 HP. OR 3 KW. HEATED ELEMENTS SHALL BE CONNECTED TO 2 PHASE CURRENT AND SHALL HAVE OVERLOAD PROTECTORS PROVIDED BY ELECTRICAL CONTRACTORS.
  - 6) ONLY AND THIS DRAWING MUST BE USED IN CONJUNCTION WITH ELECTRICAL DRAWINGS FOR OTHERS REQUIRED UTILITIES.
  - 7) PROVIDE COMPUTER GRADE CLEAN GROUND SERVICE FOR ELECTRONIC CASH REGISTERS.



2986 N.W. 80TH STREET  
MIAMI, FLORIDA 33148 U.S.A.  
PHONE 530-8000  
FAX 530-8888

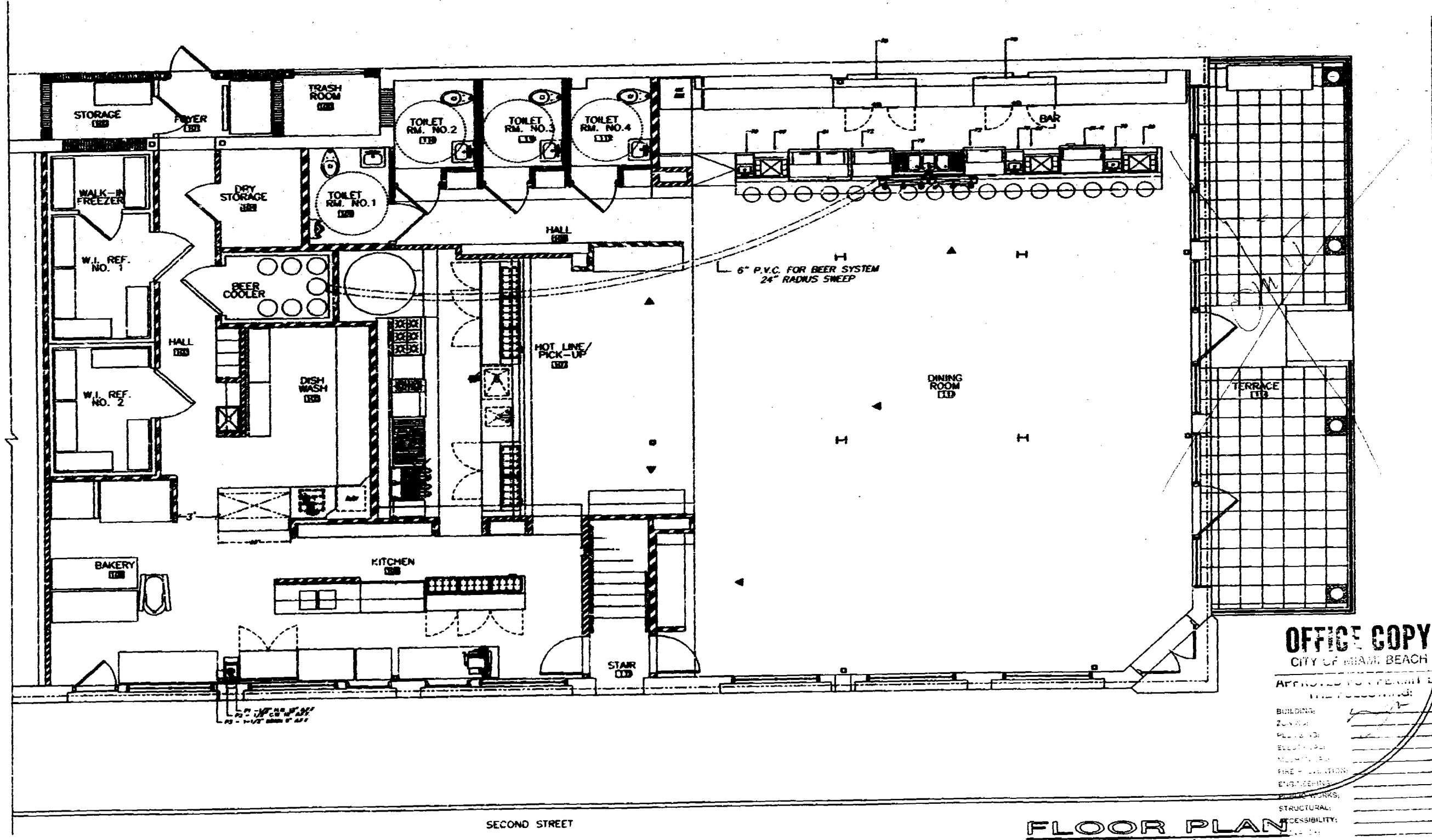
DATE	DESCRIPTION NO.

**BIG PINK**

DATE: 9-3-88  
SCALE: 1/4"=1'-0"  
DRAWN BY: RPT  
**JOB # 29621**

SHEET TITLE  
**ELECTRICAL  
ROUGH-IN**

SHEET  
**Q-3**



COLLINS AVENUE

REV.	DATE	BY

**JOB NAME :**  
**BIG PINK**  
 COLLINS AVE. & SECOND STREET

**LEE EQUIPMENT CO.**  
 1000 PEMBROKE ROAD  
 HALLANDALE, FLORIDA 33008 USA  
 Tel #: (908) 488-7500  
 Fax #: (908) 488-7888

**DATE :**  
 07/29/96  
**DRAWING #:**  
 729-96R  
**FOOD SERVICE DESIGNER:**  
 J.BRANDT

**EQUIPMENT LAYOUT**  
**K-2**  
 SHEET 2 OF 2

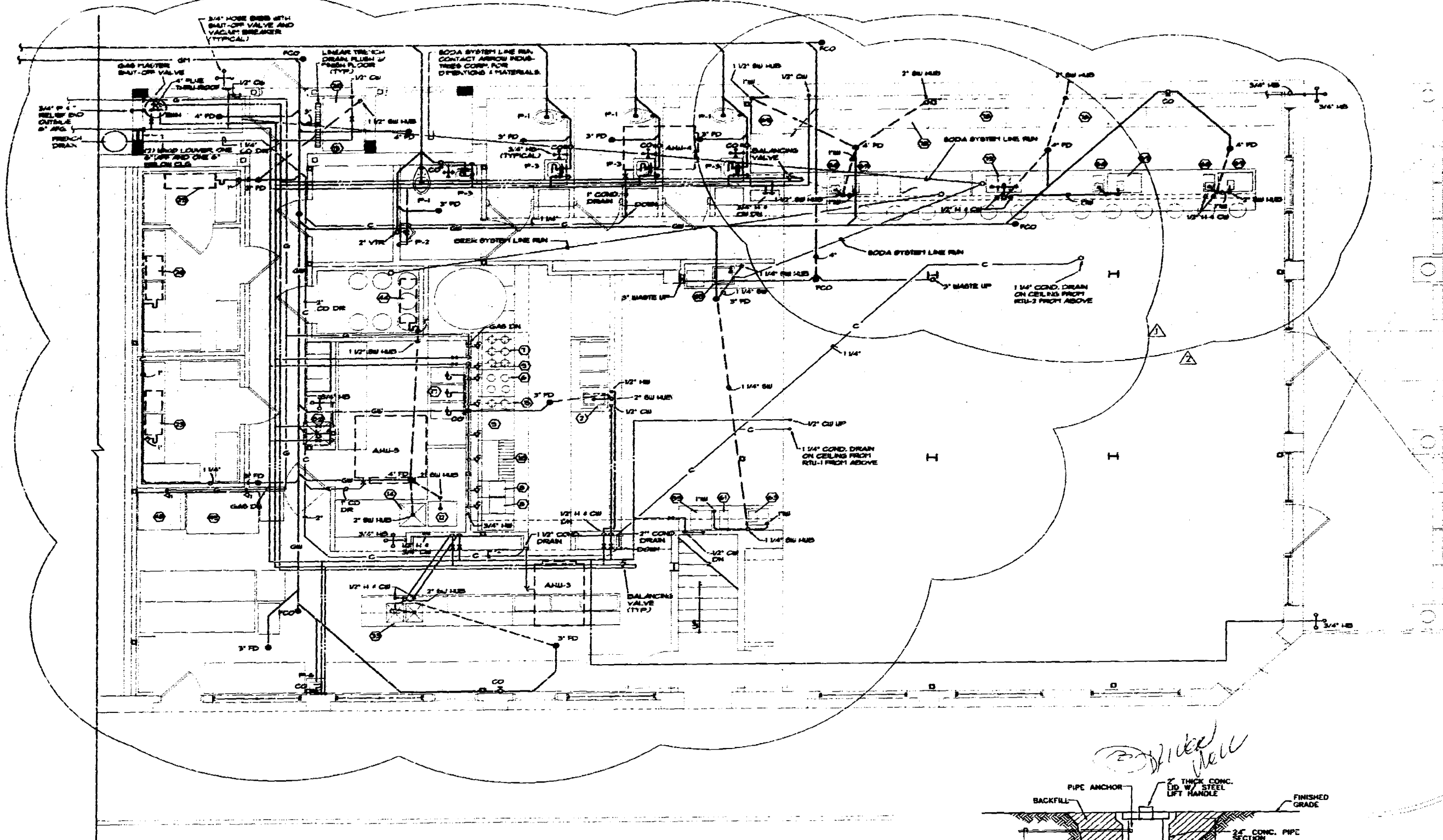
**OFFICE COPY**  
 CITY OF BEACH BEACH  
 APPROVED FOR PERMIT


BUILDING	
ZONING	
PLUMBING	
ELECTRICAL	
Mechanical	
FIRE PROTECTION	
ENVIRONMENTAL	
MECHANICAL	
STRUCTURAL	
RESISTIBILITY	

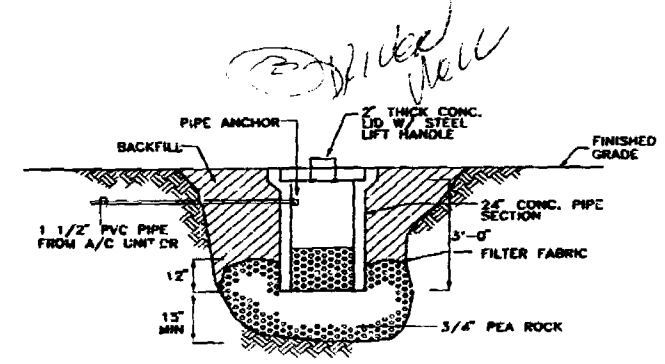
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

SECOND STREET

○ CAD. BY J. RAUGH LEE EQUIPMENT COMPANY ○ ○ ○





**PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0" GROUND FLOOR



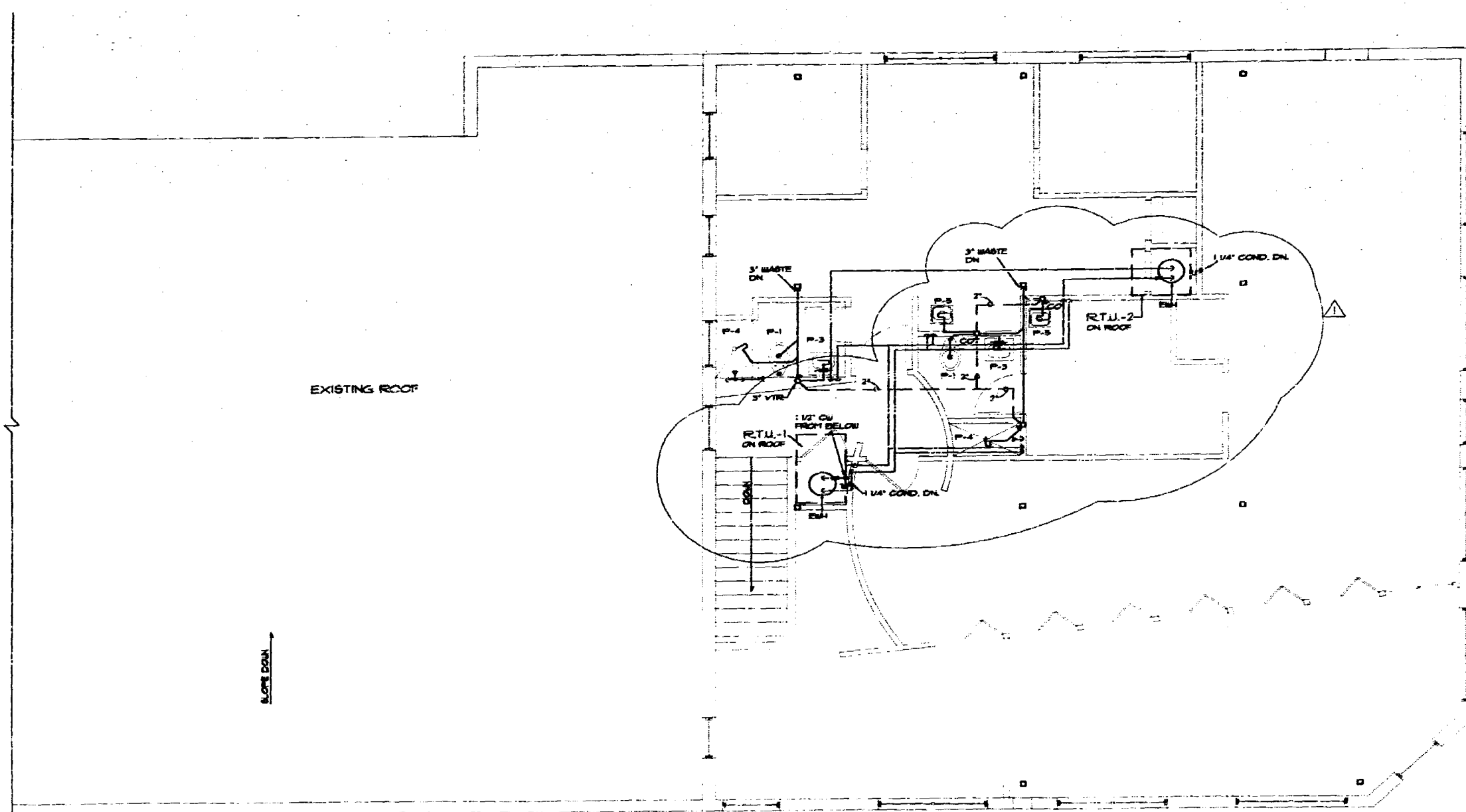
**COND. FRENCH DRAIN DETAIL**  
 N.T.S.

**OFFICE COPY**

CITY OF MIAMI BEACH  
 APPROVED FOR PRINT BY  
 [Signature]  
 BUILDING DEPARTMENT  
 07-08-96  
 PROJECT CODE: 14-1004  
 PLAN NO: 1/4"=1'-0"  
 ENGINEER: [Signature]  
 PUBLIC WORKS  
 STRUCTURAL  
 ACCESSIBILITY:

  
 Page and Associates, Inc.  
 Engineers/Consultants  
 # 22 000513  
 4870 S.W. 72 Avenue, #107  
 Miami, Florida 33155  
 (305) 681-7700

RENOVATIONS TO: <b>BIG PINK</b> 157 Collins Avenue Miami Beach, Florida 33139
<b>GROUND FLOOR PLUMBING PLAN</b>
REVISIONS: 8-8-96 8-16-96
PRINT DATE: 07-08-96 PROJECT CODE: 14-1004 PLAN NO: 1/4"=1'-0" ENGINEER: [Signature] PUBLIC WORKS STRUCTURAL ACCESSIBILITY:
P-1



⊕ **PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0" **SECOND FLOOR**

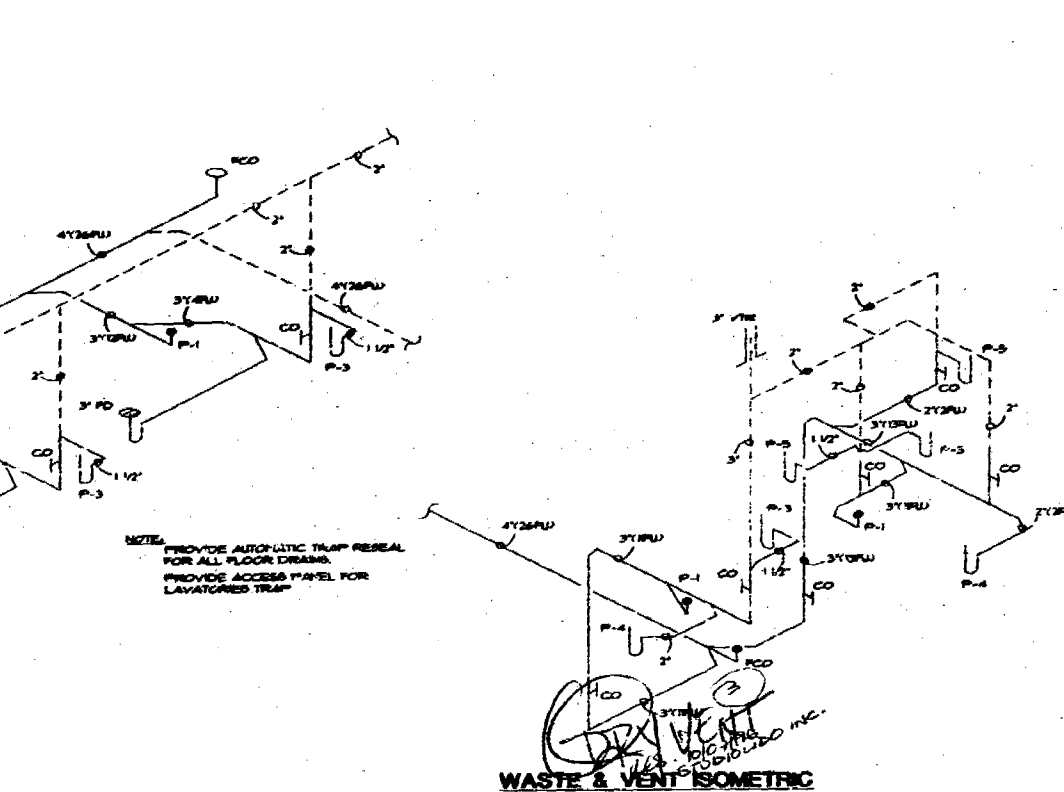
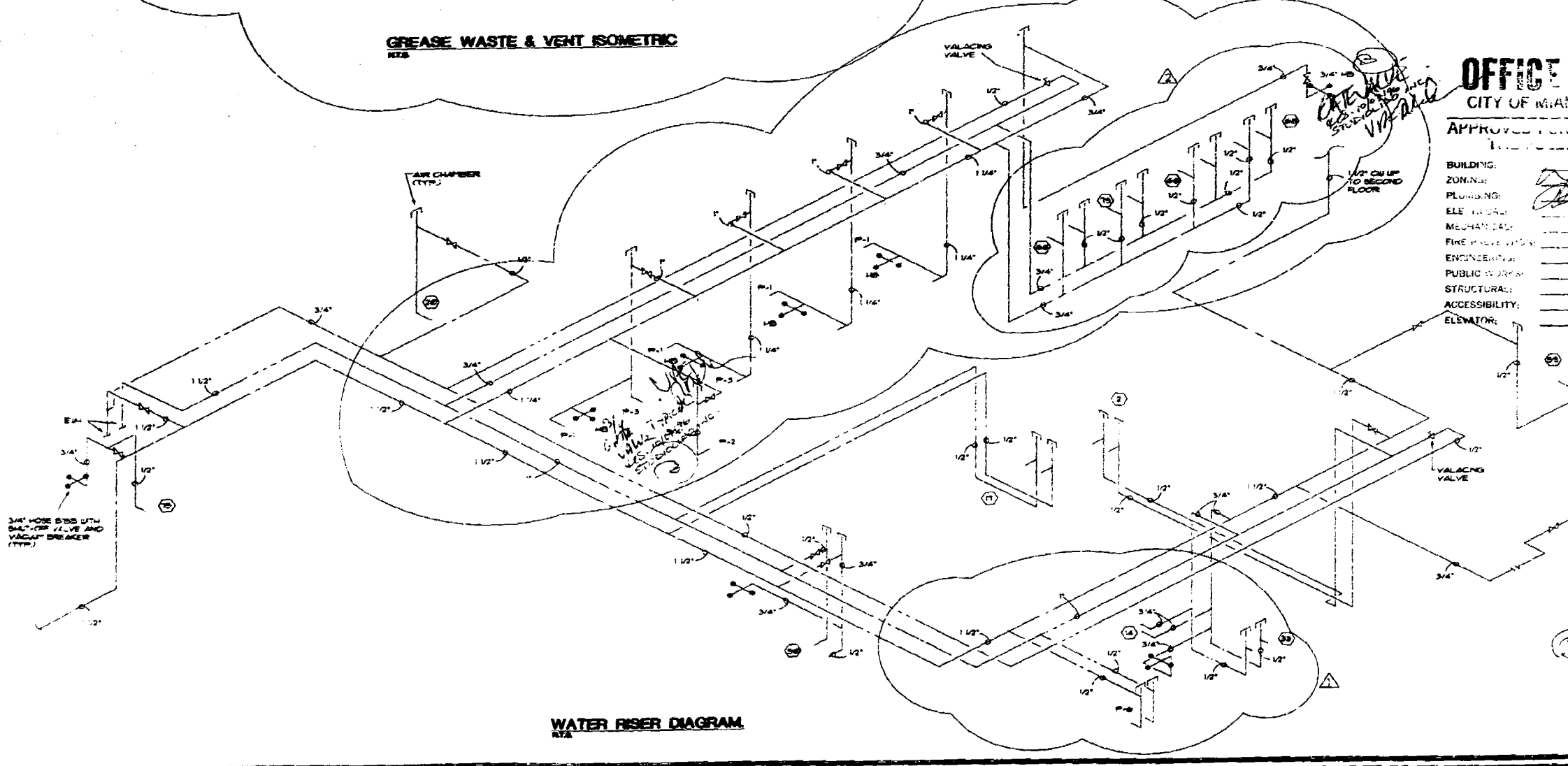
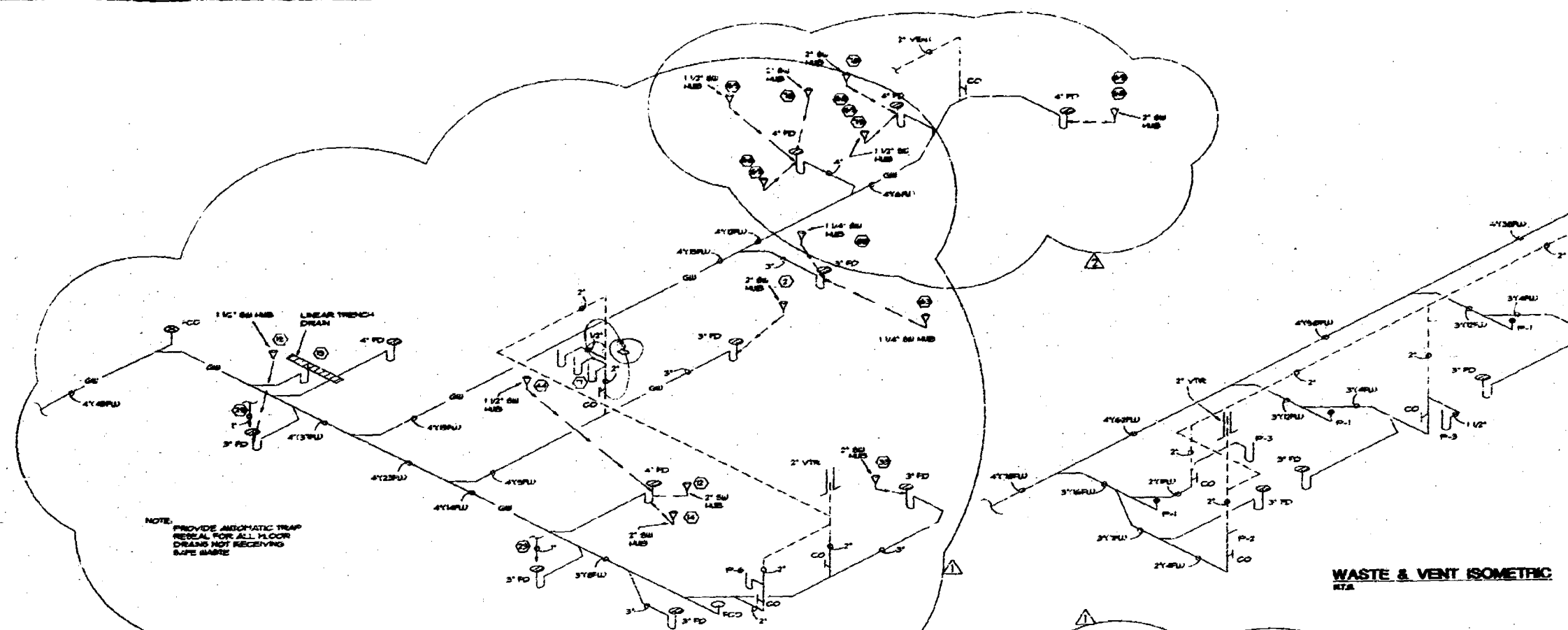
**OFFICE COPY**  
 CITY OF MIAMI BEACH  
 Approved for record by  
 the following:

- DESIGNER: \_\_\_\_\_
- PLUMBER: \_\_\_\_\_
- MECHANICAL: \_\_\_\_\_
- ELECTRICAL: \_\_\_\_\_
- PUBLIC WORKS: \_\_\_\_\_
- STRUCTURAL: \_\_\_\_\_
- ACCESSIBILITY: \_\_\_\_\_
- ELEVATOR: \_\_\_\_\_

**pa** Page and Associates, Inc.  
 Engineers/Consultants  
 # 23 0002613  
 4970 S.W. 72 Avenue, #107  
 Miami, Florida 33155  
 (305) 661-7700

© 1996 Page and Associates, Inc.  
 All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without permission in writing from Page and Associates, Inc.

<small>REVISIONS TO:          BIG PINK          157 Collins Avenue          Miami Beach, Florida 33139</small>
<b>SECOND FLOOR          PLUMBING PLAN</b>
<small>REVISIONS          8-8-96</small>
<small>DATE: 07-26-96          PROJECT: 157 Collins Avenue          SCALE: 1/4" = 1'-0"          DRAWN BY: J.P.          CHECKED BY: J.P.</small>
<b>P-2</b>



**KITCHEN EQUIPMENT CONNECTION SCHEDULE**

SYMBOL	DESCRIPTION	CM	LM	WASTE	VENT	CO	FRESH	REMARKS
(1)	HAND SINK	1/2"	1/2"	1 1/2"	...	...	...	
(2)	HOT FOOD TABLE	...	...	...	...	...	...	
(3)	4 BURNER RANGE	...	...	...	...	3/4"	3/4"	
(4)	2 BURNER RANGE	...	...	...	...	3/4"	3/4"	
(5)	(2) FRYSERS	...	...	...	...	3/4"	3/4"	EACH
(6)	SALAD BINDER	...	...	...	...	3/4"	3/4"	
(7)	CHAFER BROTHER	...	...	...	...	3/4"	3/4"	
(8)	DISH WASHER	...	3/4"	...	2"	...	...	
(9)	PRE-WASH FAUCET	2"	1/2"	...	...	...	...	
(10)	(2) DRAINER RANGE	...	...	...	...	3/4"	3/4"	
(11)	3 COMP. SINK	1/2"	1/2"	1 1/2"	...	...	...	
(12)	ICE MACHINE	1/2"	...	...	...	...	...	
(13)	WATER FILTER	1/2"	...	...	...	...	...	
(14)	EVAPORATOR COIL	...	...	...	...	...	...	
(15)	EVAPORATOR COIL	...	...	...	...	...	...	
(16)	EVAPORATOR COIL	...	...	...	...	...	...	
(17)	(2) SINK	1/2"	1/2"	2"	...	...	...	
(18)	EVAPORATOR COIL	...	...	...	...	...	...	
(19)	CONVECTION OVEN	...	...	...	...	2 1/2 3/4"	3/4"	EACH
(20)	POP SINK	1/2"	1/2"	2"	...	...	...	
(21)	COFFEE MAKER	1/2"	...	...	...	...	...	
(22)	WATER STATION	1/2"	...	...	...	...	...	
(23)	HAND SINK	1/2"	1/2"	1 1/2"	...	...	...	
(24)	ICE CHEST	1/2"	...	...	...	...	...	
(25)	BODA SYSTEM	1/2"	...	...	2"	...	...	
(26)	DIPPER/DRAINER	...	...	...	2"	...	...	
(27)	BAR REFRIGERATOR	...	...	...	...	...	...	
(28)	(3) COMPART BAR SINK	1/2"	1/2"	...	...	...	...	
(29)	ICE MACHINE	1/2"	...	...	...	...	...	
(30)	ICE CHEST	1/2"	...	...	...	...	...	

OFFICE COPY  
 CITY OF MIAMI BEACH  
 APPROVED FOR THE CITY ENGINEER

- BUILDING
- ZONING
- PLUMBING
- ELECTRICAL
- MECHANICAL
- FIRE PROTECTION
- ENGINEERING
- PUBLIC WORKS
- STRUCTURAL
- ACCESSIBILITY
- ELEVATOR

**pa** Page and Associates, Inc.  
 Engineers/Consultants  
 # 88 000813  
 4970 S.W. 72 Avenue, #107  
 Miami, Florida 33155  
 (305) 661-7700

© 1988 Hulsbos, Inc.  
 No other use or copying of this  
 drawing is permitted without  
 the written permission of  
 Hulsbos, Inc.

RENOVATIONS TO  
**BIG PINK**  
 157 Collins Avenue  
 Miami Beach, Florida 33139

RISERS  
 SCHEDULE

DATE: 07-28-96  
 DRAWN BY: BP  
 CHECKED BY: C.T.  
 APPROVED BY:

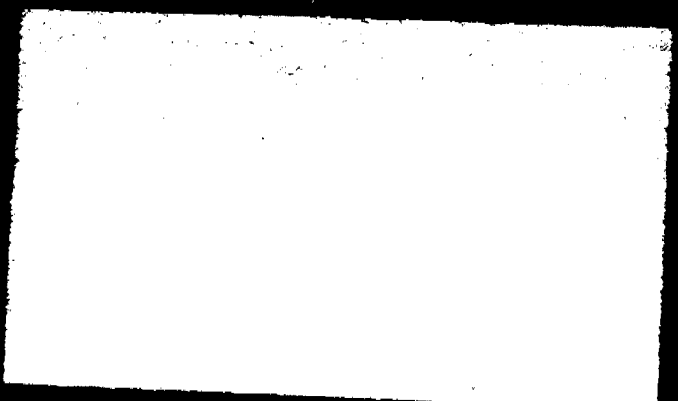
P-3

PERMIT #

B 94000397

ADDRESS

1680 Michigan Av.



**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

**SPECIAL INSPECTOR**

DATE: 4/13/95  
 ATTN: Building Official

I, the undersigned, a Professional Engineer Registered Architect, registered in the State of Florida, have been retained by the owners, LAURENCE F. KAINE of the property located at: 157 Collins Ave. Miami Beach, FL to perform all the duties of a Special Inspector, as defined in Section 305.3 of the South Florida Building Code.

This office will be responsible to the Building Official of the City of Miami Beach for the inspection of the structural elements of the building, including all excavations, piling, foundation, all reinforced concrete and structural steel, and will file written weekly reports for the same as to progress, compliance or non-compliance with the plans and the South Florida Building Code. In immediately so that appropriate action can be taken. The file logs and all concrete test reports will be submitted to the Building Official within one week after their completion.

Upon completion of the structure, I will submit to the Building Official a certificate of compliance with the South Florida Building Code and approved plans.

Engineers Signature: James J. Hall  
 License Number: FL Lic # 38001  
 Building Permit #: 89400397  
 Owner/Agent Signature: Laurence F. Kaine  
 Owner/Agent Name (Printed): LAURENCE F. KAINE

BUILDING DEPARTMENT, Accepted by: [Signature]  
 Date: 4/13/95

BOOKS OF THIS AND/OR TYPE OF INSPECTION TO BE KEPT ALL BUILDINGS SUSPECT AND STRUCTURAL

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: CONSTRUCTION INT'L INC  
 Applicant Addr: 453 NW 28TH ST MIAMI, FL 33127  
 Phone number: 305-637-9122  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: CONSTRUCTION INT'L INC  
 Applicant Addr: 453 NW 28TH ST MIAMI, FL 33127  
 Phone number: 305-637-9122  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: MAGNA BLDG CORP  
 Applicant Addr: 2145 SW 82ND CT MIAMI, FL 33155  
 Phone number: 305-266-6272  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: CONSTRUCTION INT'L INC  
 Applicant Addr: 453 NW 28TH ST MIAMI, FL 33127  
 Phone number: 305-637-9122  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: CONSTRUCTION INT'L INC  
 Applicant Addr: 453 NW 28TH ST MIAMI, FL 33127  
 Phone number: 305-637-9122  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: CONSTRUCTION INT'L INC  
 Applicant Addr: 453 NW 28TH ST MIAMI, FL 33127  
 Phone number: 305-637-9122  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

**CITY OF MIAMI BEACH**  
 Building Department  
 1680 Michigan Avenue, Suite 701  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00

PERMIT: 157 COLLINS AV  
 Permit Number: 89400397  
 Project Number: A9418755

Status: APPROVED  
 Inspected by: CH  
 Date Applied: 07/01/94  
 Date Approved: 09/06/94  
 Date Completed: 09/05/94  
 Date to Expire: 09/05/94

This type: APPLICATION BUILD  
 (THIS IS NOT A PERMIT)  
 Parcel number: 4202-003-0300  
 Group-occup/use: COMM

Owner: LAURENCE F KAINE  
 Applicant: MAGNA BLDG CORP  
 Applicant Addr: 2145 SW 82ND CT MIAMI, FL 33155  
 Phone number: 305-266-6272  
 Class code: RECO  
 Valuation: 19,000  
 Construction: OTH  
 Permit to do: EXT WNDLWG WINDOWS/DOORS/STRUCTL RFRS  
 Job Address: 157 COLLINS AV

SS NO OR TAXPAYER ID NO  
 BENEFIT DISTRICT NO. 8

Activity	Units	Fee/Unit	Ext Fee	Date
ENTER COST ALTERATION BLDG/STRUCT	4000.00	19.00	76.00	
IF WALK-THRU ENTER VALDAT (ZONING)	19000	1.00	19.00	
EN NO. INST UNITS: WINDOW-DOR-ETC (MINIMUM \$65)	31	124.00	3844.00	
SUBTOT BLDG PERMIT FEE + PENALTY			3943.00	
TOTAL BUILD FEE + RADON SURCH	19000.00	242.00	4618.00	
ENTER COST ALTER/REPAIRS BLDG/ST	19000.00	51.05	970.95	
SUBTOT FIRE SAFETY PROCESS FEE			243.85	
TOTAL BUILDING FEE + RADON + FIRE FEE	19000.00	9.50	180.50	
EN COST FOR OTHER CONSTR SURCHARGE	10	4.75	47.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	19000	4.75	902.50	
EN VALUATION OF PERMIT FOR TRAINING	11	4.75	52.25	
SUBTOTAL TRAINING FEE			278.10	
TOT BLD+RADN+FIRE+REPAIRS+CONSTR+TRN FEE			278.10	

NET DADE COUNTY ROAD IMPACT FEE > 13

TOTAL BLDG PERMIT FEE & SURCHARGES 278.10

Receipts No. 894177 Date 07/01/94 Payment 168.30

POBOX 335368 MIAMI 33233 CONSTRUCTION LATER

B94000397

**INSTRUCTION FOR SPECIAL INSPECTORS**

1. A special inspector and a threshold special inspector are each private professionals who are working for and with the consent of the Building Official.

2. No matter who is paying the bills, when it comes to the inspections to be made, only the requirements of the code, the Building Official and your own expertise and experience should be considered.

3. As an inspector you (the Special Inspector) are present to observe and to reach one of the three possible conclusions:  
a. "this is correct", it is in close compliance with approved drawings and the code.  
b. "this is not correct", it is not close compliance etc.  
c. "no decision can be made" usually due to insufficient information, the following is needed:

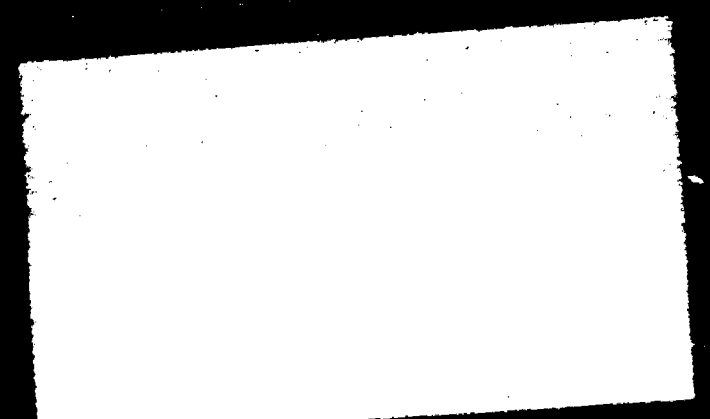
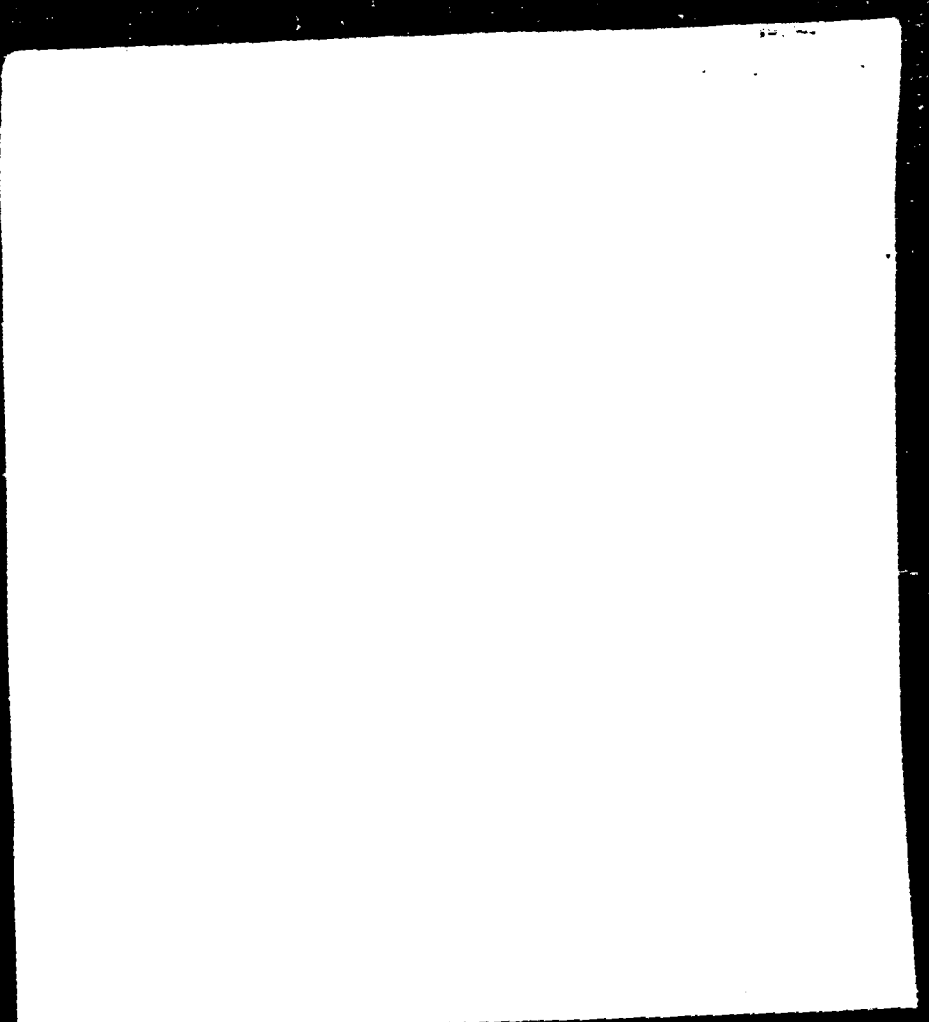
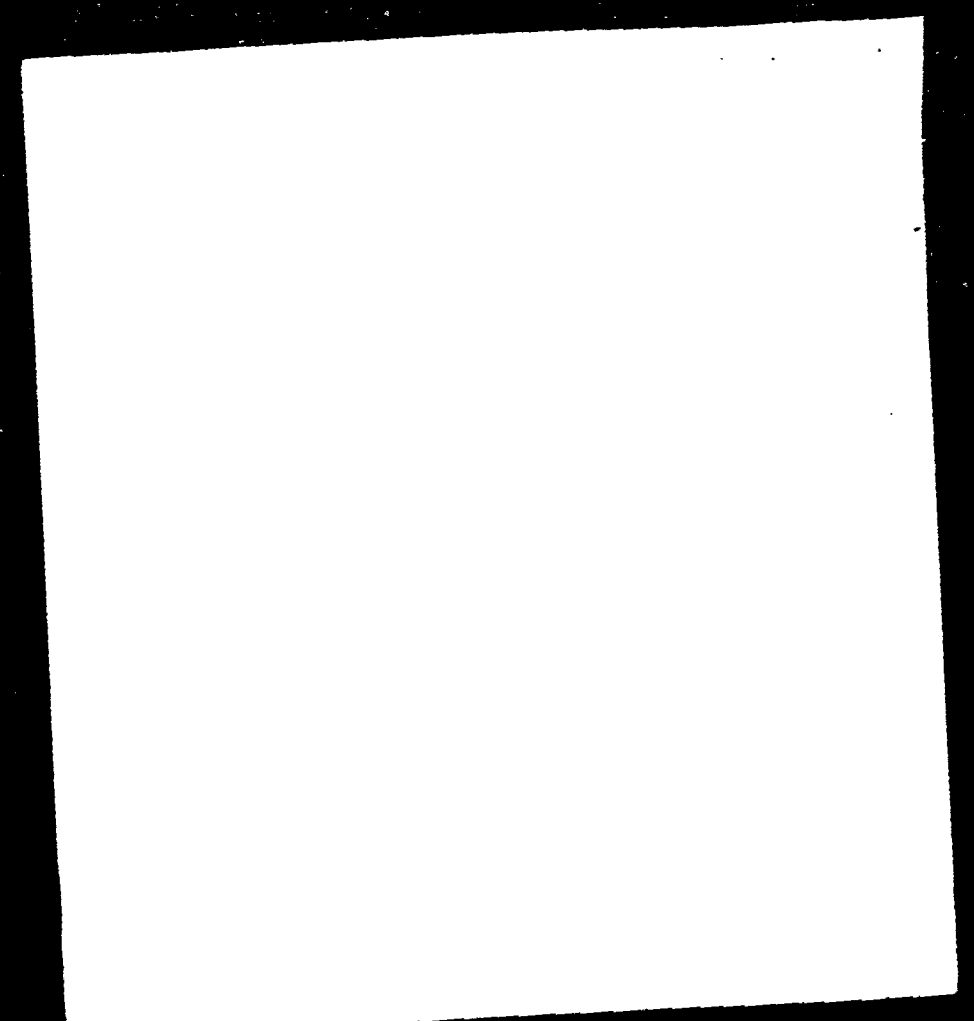
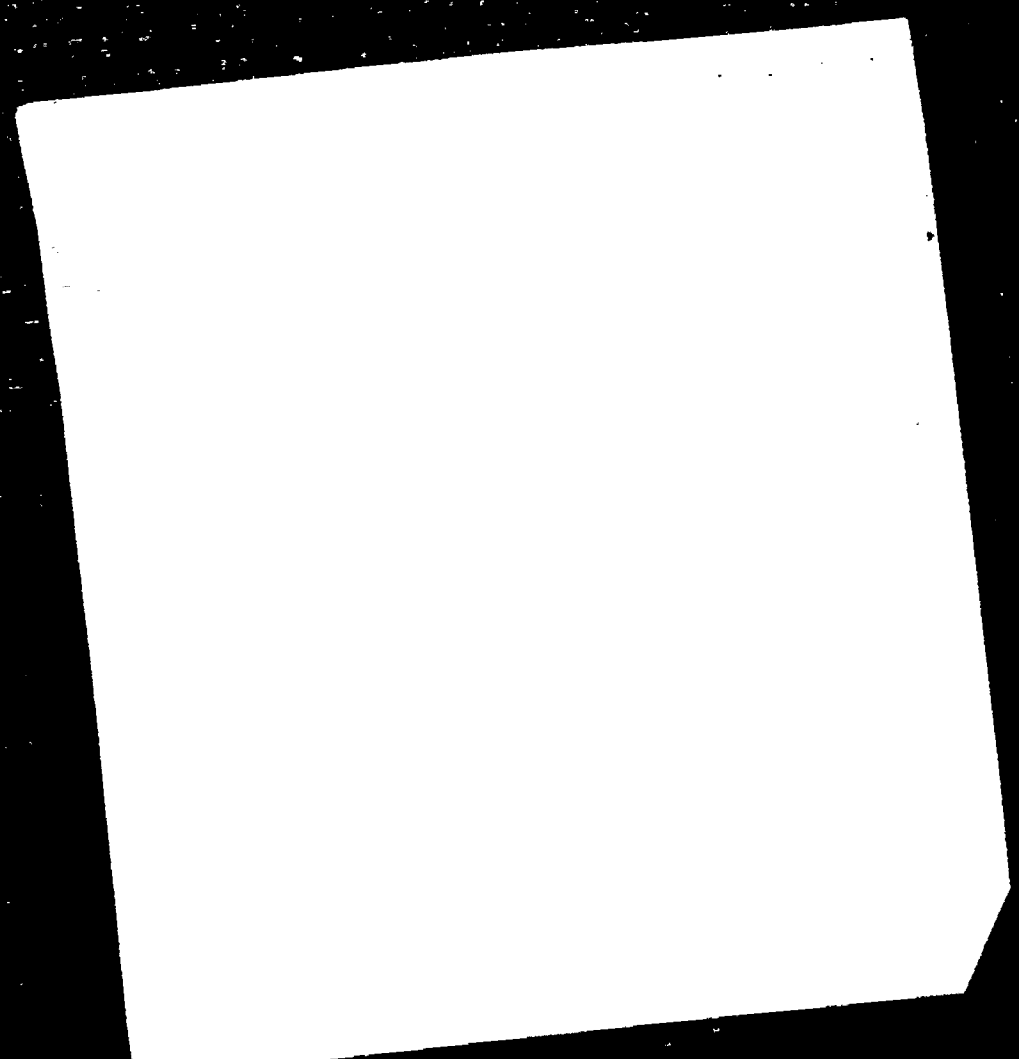
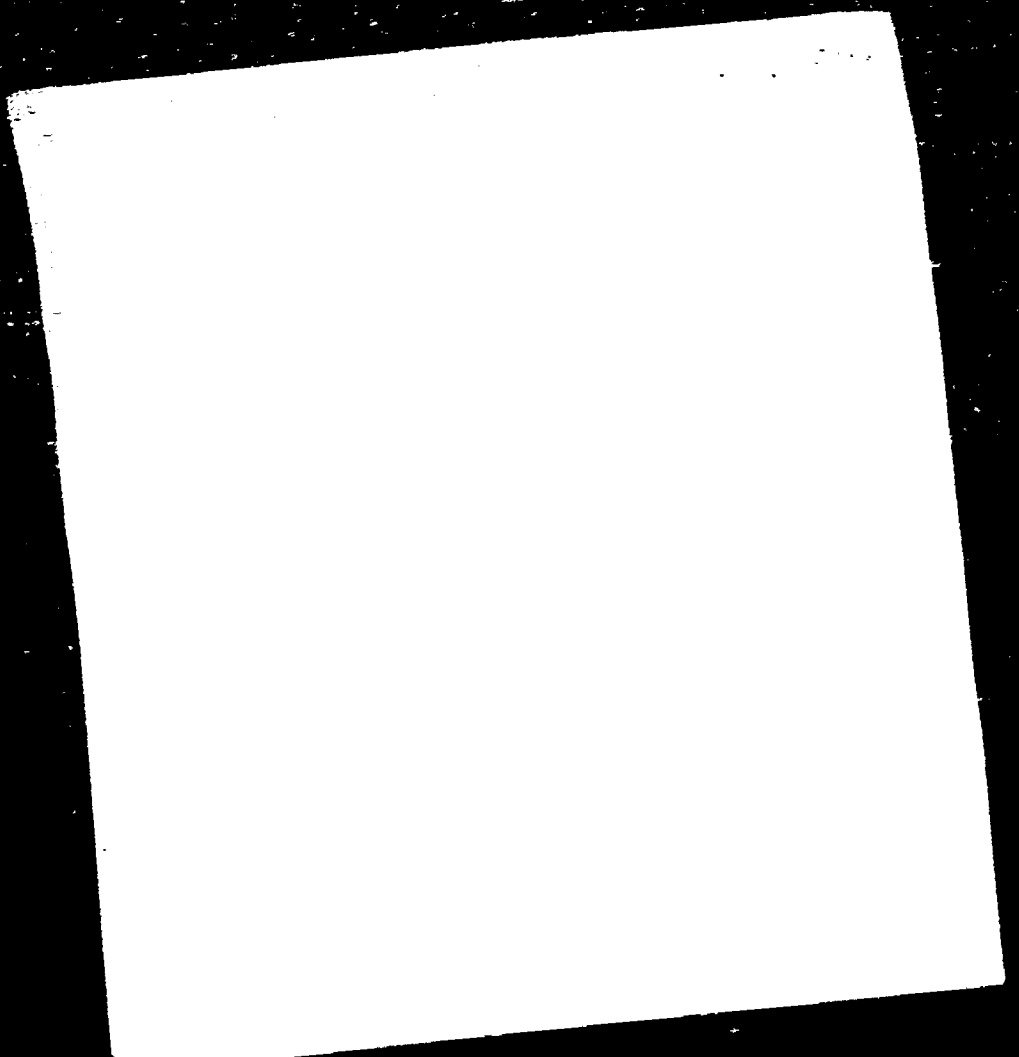
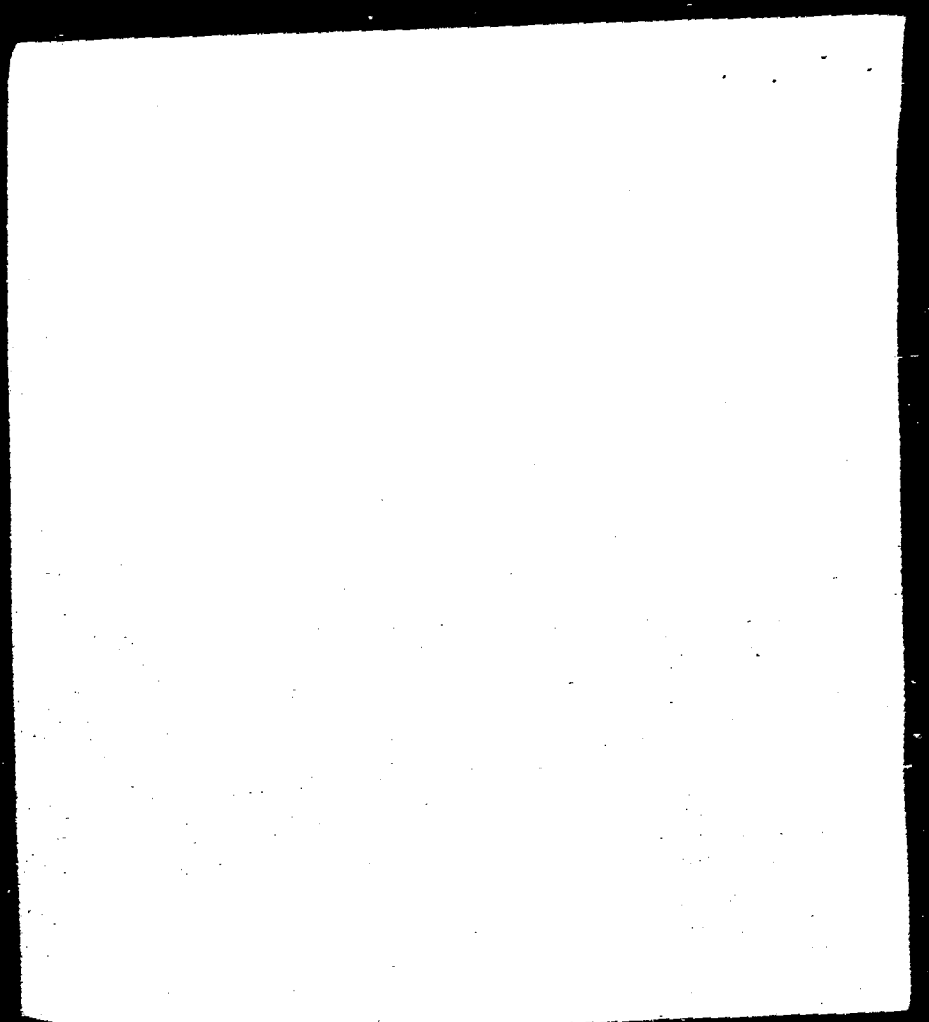
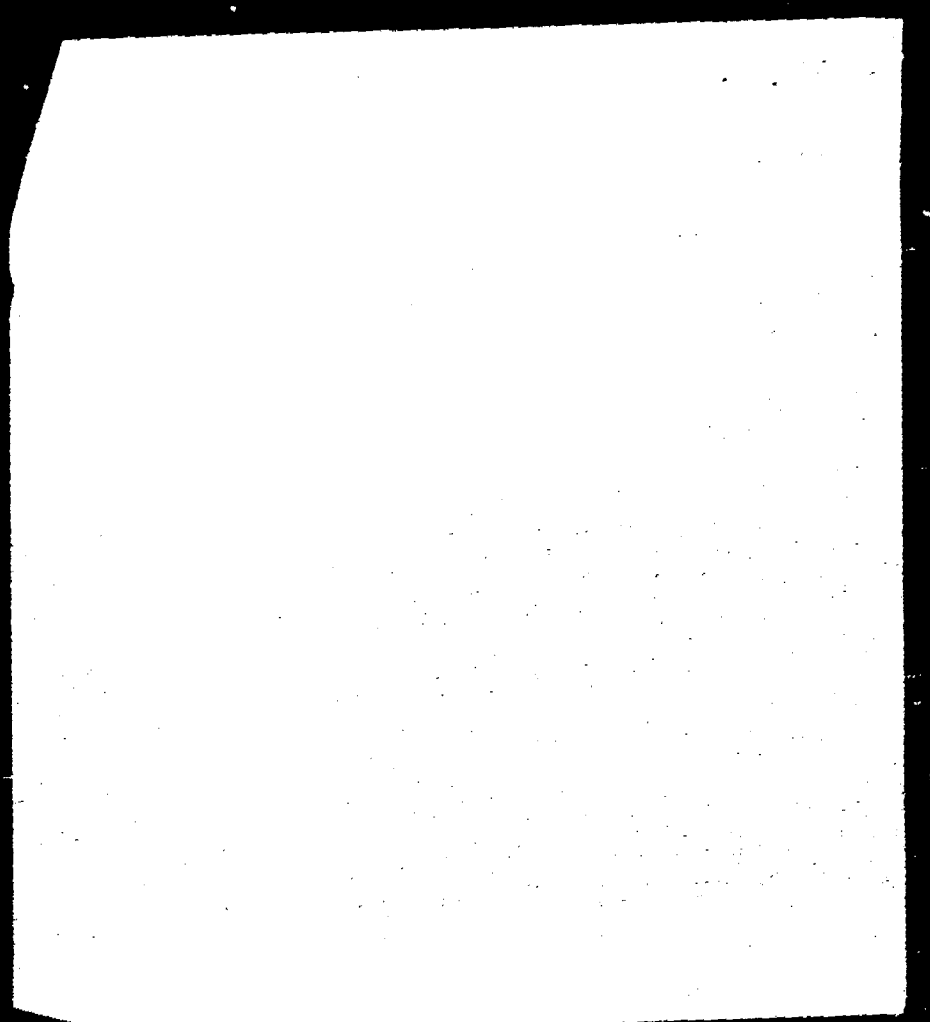
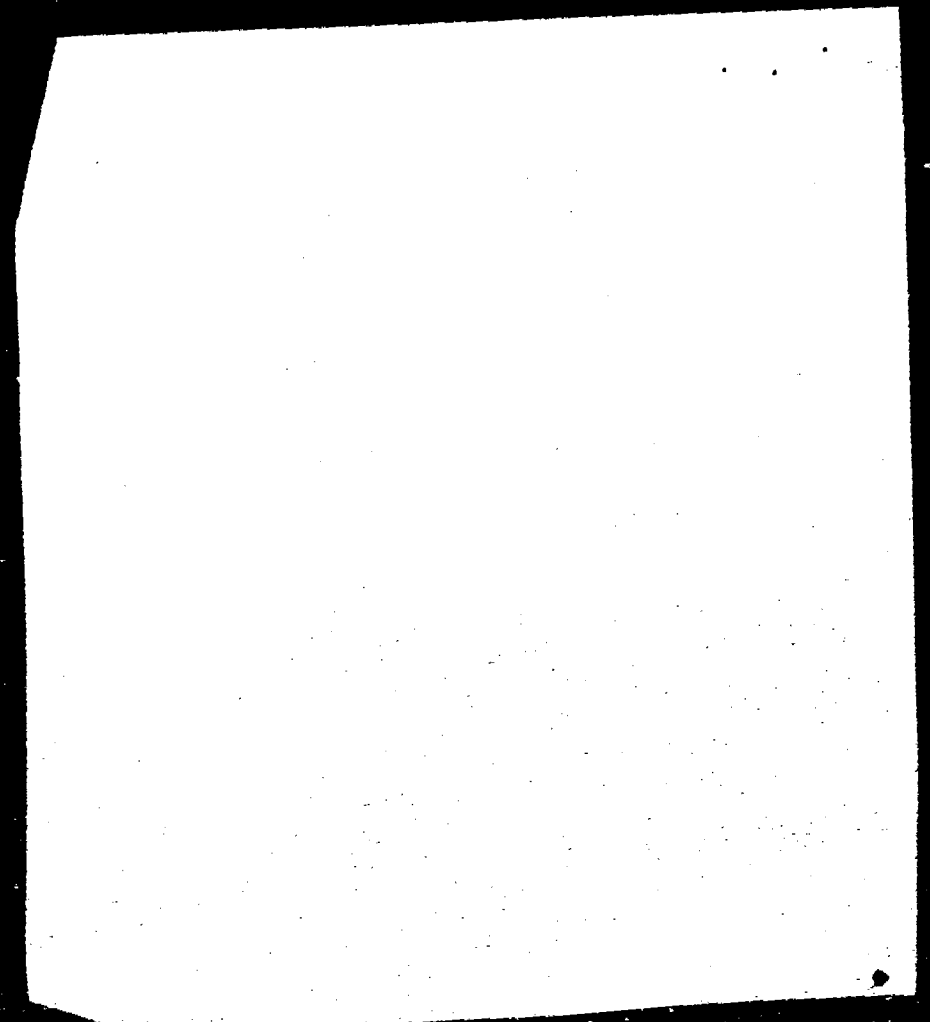
Inspections are made on an as required basis, the only exception to this is threshold buildings which require by law that all work of structural nature be inspected by a threshold Certified Special Inspector on a continuous basis. As a special inspector you must remind the contractor that he/she still has a responsibility to notify the Building Official and perform a complimentary inspection desired.

4. A written report is required for each day of inspection on each project. This report will list inspections made and conclusions reached. If any action is taken, said actions will be detailed. If any item of inspection is "not approved" or any other problem is perceived, it shall be presented to the Building Official as part of the inspection report. All problems and failures reported must be followed up in subsequent reports detailing what actions were taken to correct the deficiencies.

5. Copies of all field reports and such other information as shall be necessary to specify the "conditions" of the structure under construction shall be kept on the job site as an inspection log. Signed and sealed copies of all field reports, and such other information as is necessary shall be submitted at regular intervals not to exceed 30 (thirty) working days. The special inspector will make himself/herself available should the Building Official require additional information.

6. As a special inspector, you have a great responsibility to help preserve the public safety. All dangerous conditions must be reported in writing to the Building Official as quickly as possible. Conditions which are immediately dangerous will require further action. Common sense will be required in determining a proper response to any situation.

B94000397





Date: 07/01/94 10:30  
 Action: BUILD 9401  
 CITY OF MIAMI BEACH  
 Building Department  
 555 West Meridian Blvd. (17th St.)  
 Miami Beach, Florida 33139  
 (305) 673-7610 Hours of Operation 8:30 to 5:00  
 Project Number: A9418755  
 157 COLLINS AV  
 Parcel Number: B9408397

TOTAL THIS DATE		*****	
Fees Required		Fees Collected & Credits	
Fees:	168.30		168.30
Adjustments:	.00	Total Credits:	.00
Total Fees:	168.30	Total Payments:	168.30
		Balance Due:	.00

Distribution: 1-Building Inspection Cop (with Cashier Stamp); 2-Building Insp  
 3-City Accounting Division; 4-Metro Dade Co. Tax Assessor Dept.; 5-Applicant  
 (Rev: 9001, PFBLDG01.en)

CITY OF MIAMI BEACH  
 Building Department  
 1600 Wickham Avenue, 2nd Fl  
 Miami Beach, Florida 33139  
 DATE: 4/18/95  
 ATTENTION: BUILDING OFFICIAL

OWNER'S AFFIDAVIT  
 I, LAWRENCE F. KAINE certify that I am the owner of the  
 property described as:  
 ADDRESS: 157 COLLINS AVE  
 LOT: 11a BLOCK: 2 SUBDIVISION: OCEAN BEACH

I authorize to obtain a building permit for the following work: as my agent  
WINDOWS & DOORS STRUCTURAL REPAIRS  
TO BEHOLD RESTAURANT

On this the 18 day of APRIL 1995  
 before me, the undersigned Notary Public of the State of  
 Florida, personally appeared:  
LAWRENCE F. KAINE  
 and whose name(s) is/are subscribed to the within  
 instrument, and he/she/they acknowledged that he/she/they  
 executed it.  
 My commission expires on 04/18/98  
 NOTARY PUBLIC, STATE OF FLORIDA

(Type of Notary Public: Print or Type as Commissioner)  
 Personally known to me, or  
 Produced ID: \_\_\_\_\_ (Type of ID Produced)  
 DID take an oath, or  
 DID NOT take an oath.

NOTICE OF COMMENCEMENT MUST BE FILED IF JOB VALUATION  
 EXCEEDS \$ 2,500.00 IN LABOR AND MATERIAL.  
 NOTICE OF COMMENCEMENT MUST BE POSTED PRIOR TO JOB COMMENCING  
 NOTICE OF COMMENCEMENT CAN BE FILED AT:  
 44 WEST FLAGLER STREET, 5TH FLOOR, MIAMI, FLORIDA

SPECIAL NOTIFICATION  
 BY NOTARY PUBLIC  
 COMMERCIAL BY 306.18.00

**WARNING TO OWNER**

Your failure to record a notice of commencement may result in your paying twice for improvements to your property.

If you intend to obtain financing, consult with your lender or an attorney before recording your Notice of Commencement. If not seeking financing, consult your attorney or the Florida Department of Agriculture and Consumer Services. A failure to understand your rights and responsibilities may result in your either having to pay for the work two (2) times or losing your property if you do not pay.

**1. WHY IS THE CONSTRUCTION LIEN LAW?**

The new Florida "Construction Lien Law" (Chapter 711, Florida Statutes, as amended) is the current law which replaces the older Mechanics Lien Law. The Construction Lien Law is a method by which a contractor may claim a lien on real property which they have performed work or provided materials.

**2. HOW DOES THE CONSTRUCTION LIEN LAW APPLY TO ME?**

1. If I am the owner of real property that is being improved...

\* You own an interest in real property that is being improved.  
\* The cost of the improvements exceeds \$2,500.00.

\* You are employing someone other than yourself to supply materials & labor.

**3. WHEN MUST THE CONSTRUCTION LIEN BE RECORDED?**

Section 13, (conditional payment of bonds, certificate of payment, section 17, (assignment of funds) and section 29, (collecting payments) take effect January 1, 1981. These amendments modify the existing mechanics Lien Law.

**4. WHY SHOULD I, AS A PERSON WHOSE PROPERTY IS IMPROVED, KNOW THE CONSTRUCTION LIEN LAW?**

Because a failure to make proper construction payments can result in a lien being filed which may result in your property being sold to satisfy the debt.

**5. CAN A HOMEOWNER BE COMPELLED TO PAY TWO TIMES FOR THE SAME WORK?**

Yes! When the homeowner doesn't make sure the construction payments are proper, he can again be required to pay an unpaid laborer, material man,

subcontractor, or another contractor to the extent of services rendered and not compensated.

**6. WHO IS RESPONSIBLE FOR THE CONSTRUCTION LIEN LAW?**

(With few exceptions), every person who is involved in property in the State of Florida.

**7. AS A HOMEOWNER, WHAT STEPS CAN I TAKE TO PREVENT THIS?**

Before you begin construction, file a F O C I C A of Commencement with the Clerk of the Circuit Court in the county where the work will be performed, and post a certified copy at the job site.

Before you make any payment on the job, make sure you receive partial release of lien covering the work performed.

Before final payment is made, make sure you received a final Release of Lien from your contractor (owner, contractor, laborer, material supplier, subcontractor and subcontractors).

**UNDER NO CIRCUMSTANCES SHOULD YOU MAKE PAYMENT WITHOUT RECEIVING A RELEASE!**

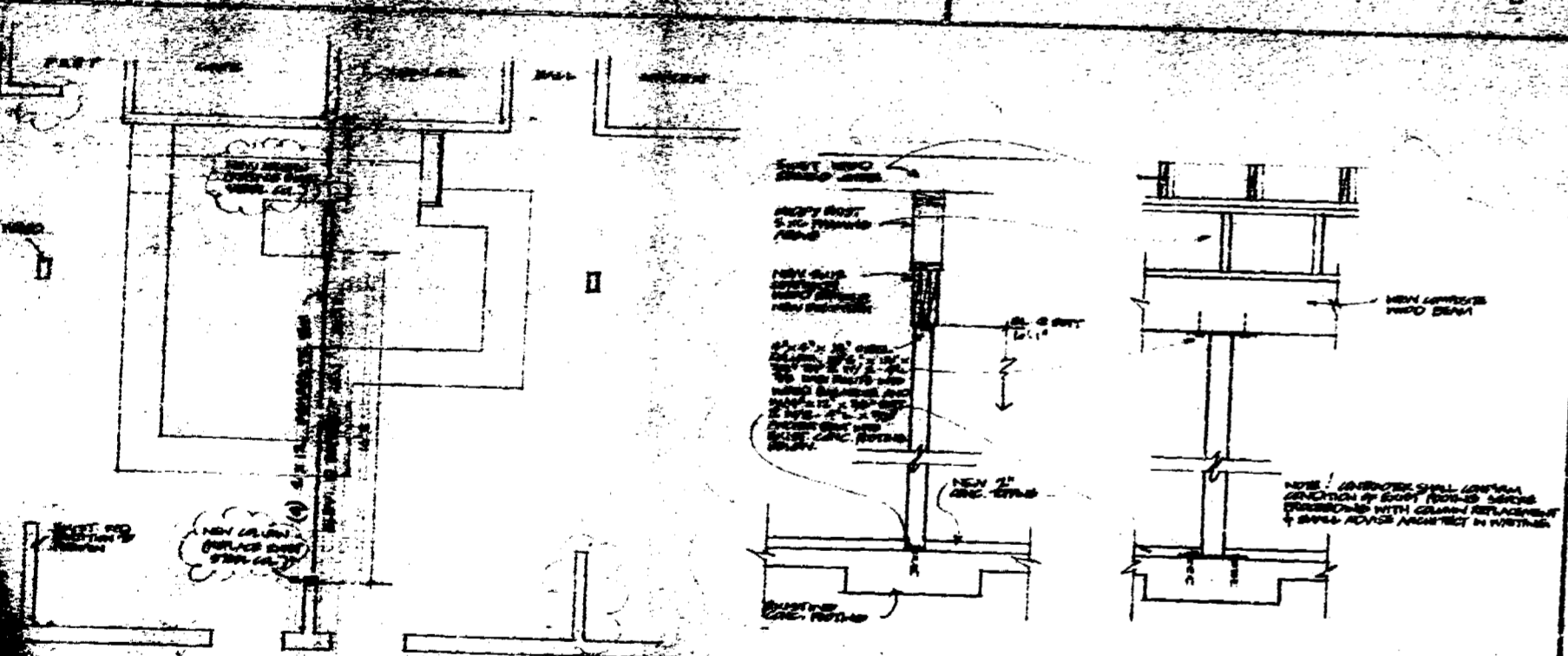


PROJECT: [Illegible]  
 DATE: [Illegible]

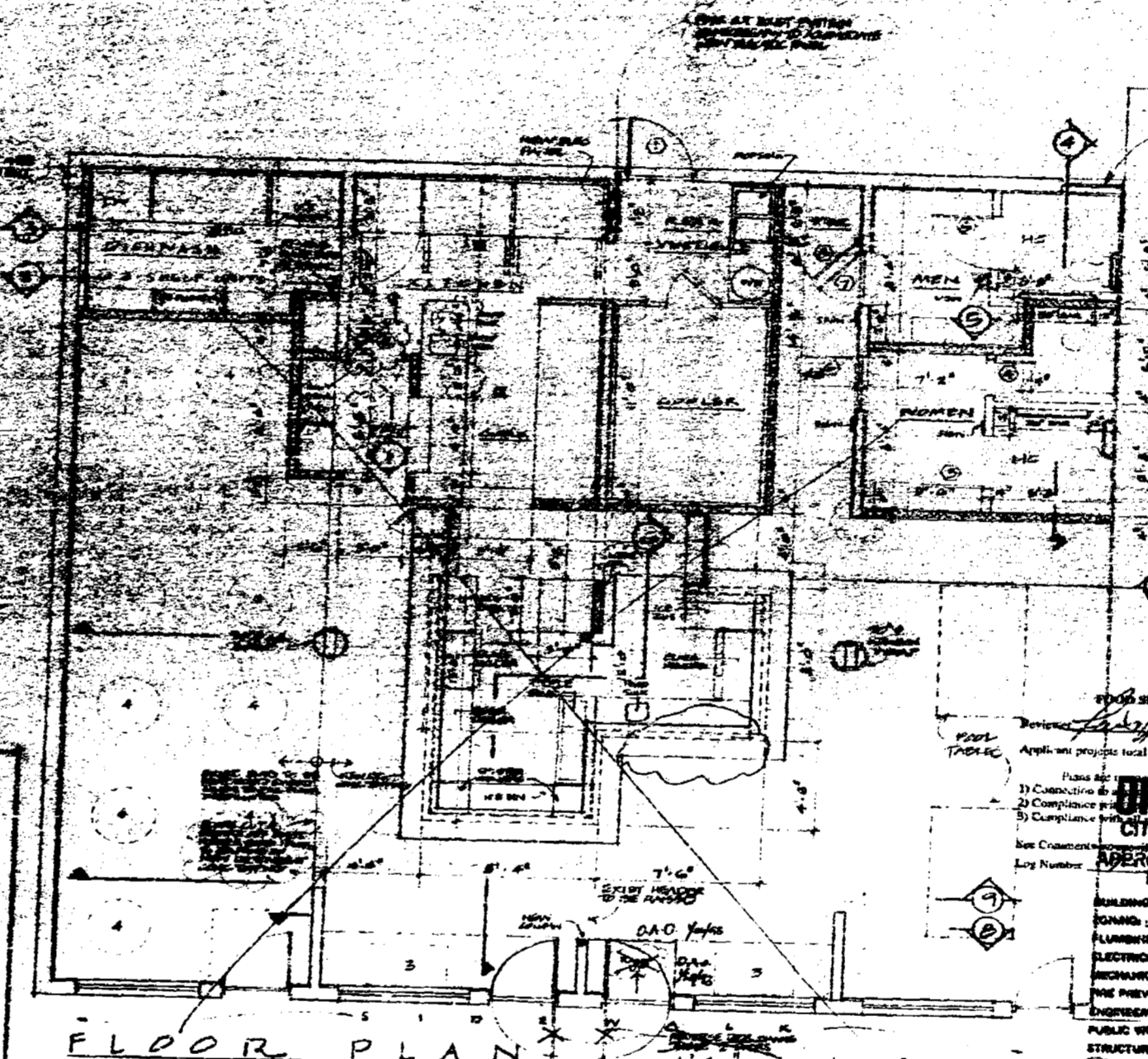
**WALKER PLAN**

**MECHANICAL SCHEDULE**

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	...	...	...	...	...
2	...	...	...	...	...
3	...	...	...	...	...
4	...	...	...	...	...
5	...	...	...	...	...
6	...	...	...	...	...
7	...	...	...	...	...
8	...	...	...	...	...
9	...	...	...	...	...
10	...	...	...	...	...
11	...	...	...	...	...
12	...	...	...	...	...
13	...	...	...	...	...
14	...	...	...	...	...
15	...	...	...	...	...
16	...	...	...	...	...
17	...	...	...	...	...
18	...	...	...	...	...
19	...	...	...	...	...
20	...	...	...	...	...
21	...	...	...	...	...
22	...	...	...	...	...
23	...	...	...	...	...
24	...	...	...	...	...
25	...	...	...	...	...
26	...	...	...	...	...
27	...	...	...	...	...
28	...	...	...	...	...
29	...	...	...	...	...
30	...	...	...	...	...
31	...	...	...	...	...
32	...	...	...	...	...
33	...	...	...	...	...
34	...	...	...	...	...
35	...	...	...	...	...
36	...	...	...	...	...
37	...	...	...	...	...
38	...	...	...	...	...
39	...	...	...	...	...
40	...	...	...	...	...
41	...	...	...	...	...
42	...	...	...	...	...
43	...	...	...	...	...
44	...	...	...	...	...
45	...	...	...	...	...
46	...	...	...	...	...
47	...	...	...	...	...
48	...	...	...	...	...
49	...	...	...	...	...
50	...	...	...	...	...
51	...	...	...	...	...
52	...	...	...	...	...
53	...	...	...	...	...
54	...	...	...	...	...
55	...	...	...	...	...
56	...	...	...	...	...
57	...	...	...	...	...
58	...	...	...	...	...
59	...	...	...	...	...
60	...	...	...	...	...
61	...	...	...	...	...
62	...	...	...	...	...
63	...	...	...	...	...
64	...	...	...	...	...
65	...	...	...	...	...
66	...	...	...	...	...
67	...	...	...	...	...
68	...	...	...	...	...
69	...	...	...	...	...
70	...	...	...	...	...
71	...	...	...	...	...
72	...	...	...	...	...
73	...	...	...	...	...
74	...	...	...	...	...
75	...	...	...	...	...
76	...	...	...	...	...
77	...	...	...	...	...
78	...	...	...	...	...
79	...	...	...	...	...
80	...	...	...	...	...
81	...	...	...	...	...
82	...	...	...	...	...
83	...	...	...	...	...
84	...	...	...	...	...
85	...	...	...	...	...
86	...	...	...	...	...
87	...	...	...	...	...
88	...	...	...	...	...
89	...	...	...	...	...
90	...	...	...	...	...
91	...	...	...	...	...
92	...	...	...	...	...
93	...	...	...	...	...
94	...	...	...	...	...
95	...	...	...	...	...
96	...	...	...	...	...
97	...	...	...	...	...
98	...	...	...	...	...
99	...	...	...	...	...
100	...	...	...	...	...



**WORD LEADER MODIFICATION DETAILS**



**FLOOR PLAN**

**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL & NATIONAL BUILDING, MECHANICAL AND ELECTRICAL CODES AND SHALL BE SUBJECT TO THE CITY OF MIAMI BEACH, AND MIAMI DADE COUNTY, FLORIDA, CITY OF MIAMI BEACH, AND MIAMI DADE COUNTY, FLORIDA.
2. ALL CONTRACTORS & TRADE SUBCONTRACTORS SHALL BE FULLY LICENSED & QUALIFIED TO PERFORM THE CITY OF MIAMI BEACH AND SHALL BE SUBJECT TO THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
3. **COVERAGE:**

WORKERS COMPENSATION	40
LIABILITY	20
TOTAL	60
4. NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
5. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
6. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
7. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
8. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
9. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
10. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
11. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
12. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
13. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
14. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
15. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
16. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
17. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
18. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
19. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.
20. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH AND MIAMI DADE COUNTY, FLORIDA.

APPROVED FOR PERMIT BY THE FOLLOWING:

**OFFICE COPY**  
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

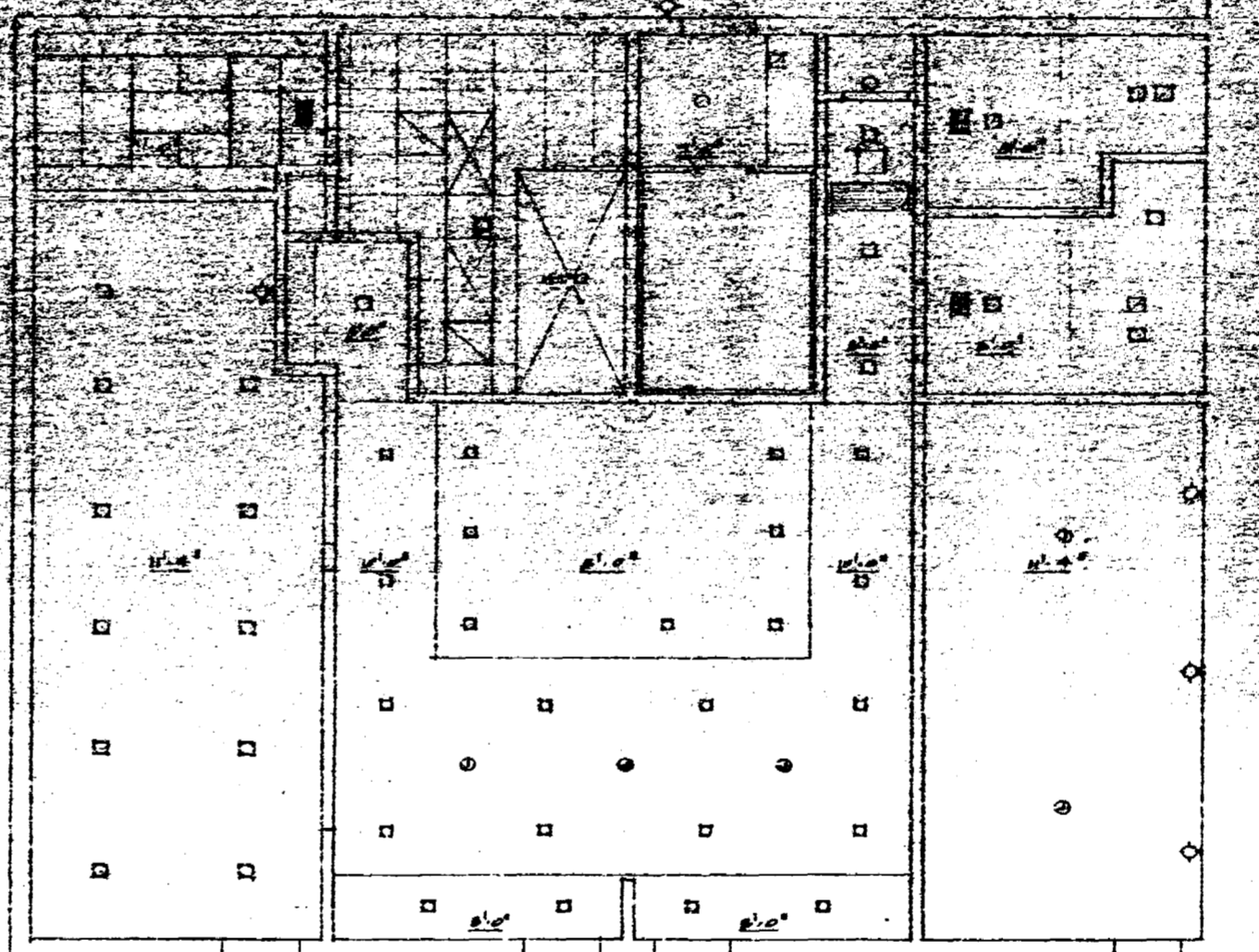
MECHANICAL: [Signature]  
 ELECTRICAL: [Signature]  
 PLUMBING: [Signature]  
 FIRE PREVENTION: [Signature]  
 PUBLIC WORKS: [Signature]  
 STRUCTURAL: [Signature]

**VOID**

OXIDIO OXIOS, AIA  
 Architecture Design Services  
 118 West 5th Court - Miami Beach, FL 33139  
 Phone: 305.371.1111  
 Fax: 305.371.1112

Sealed & Forwarded to:  
**TED'S HIDEAWAY**  
 170 5th Street  
 Miami Beach, FL 33139  
 Order Number: [Illegible]  
 Date: [Illegible]

000406



REFLECTED CEILING PLAN

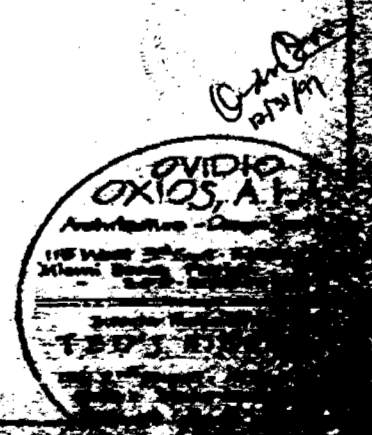
**OFFICE COPY**

CITY OF MIAMI BEACH

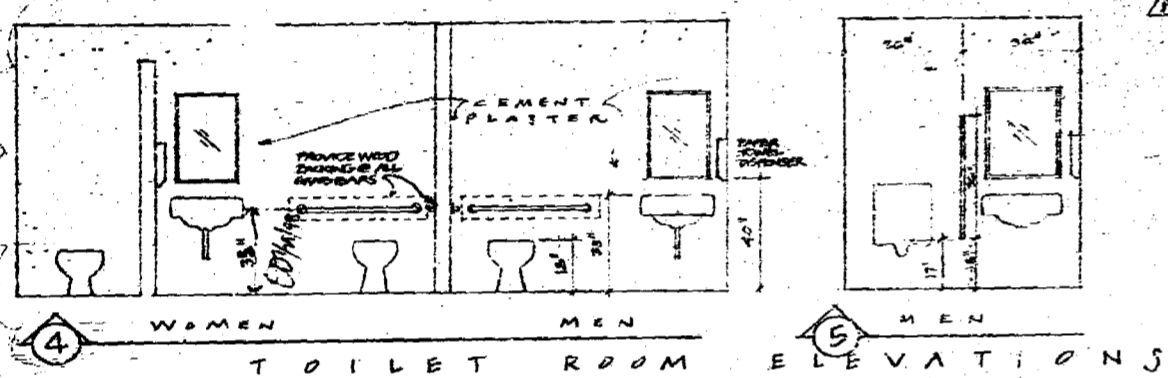
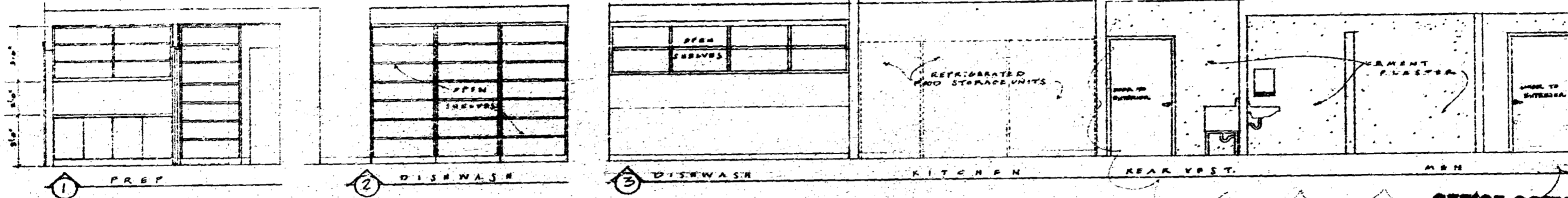
APPROVED FOR PERMIT BY

THE FOLLOWING:

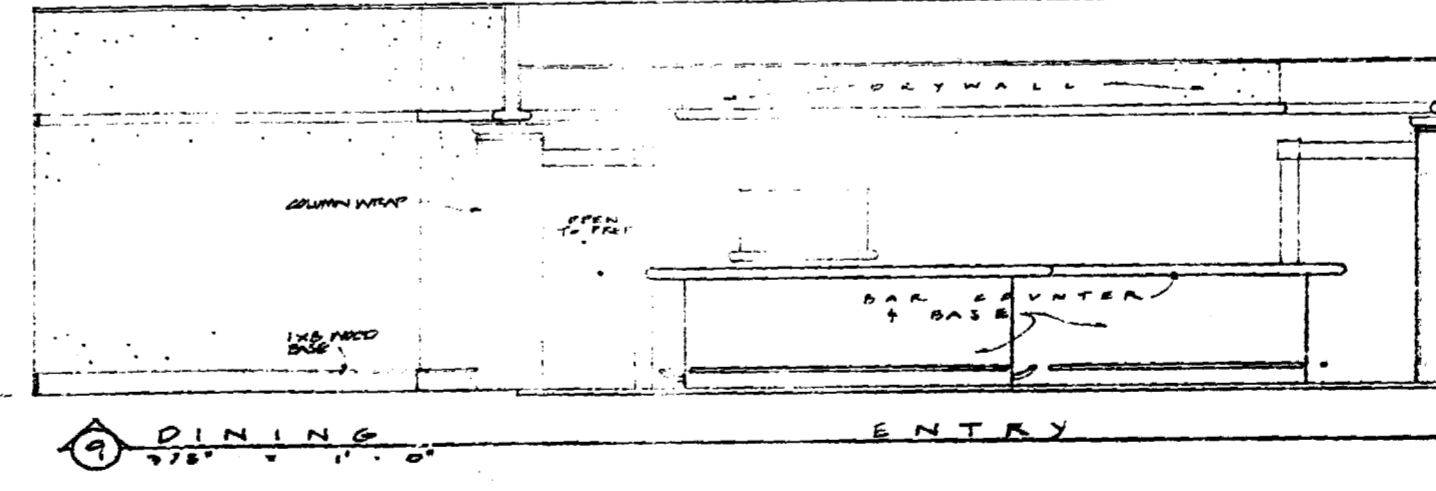
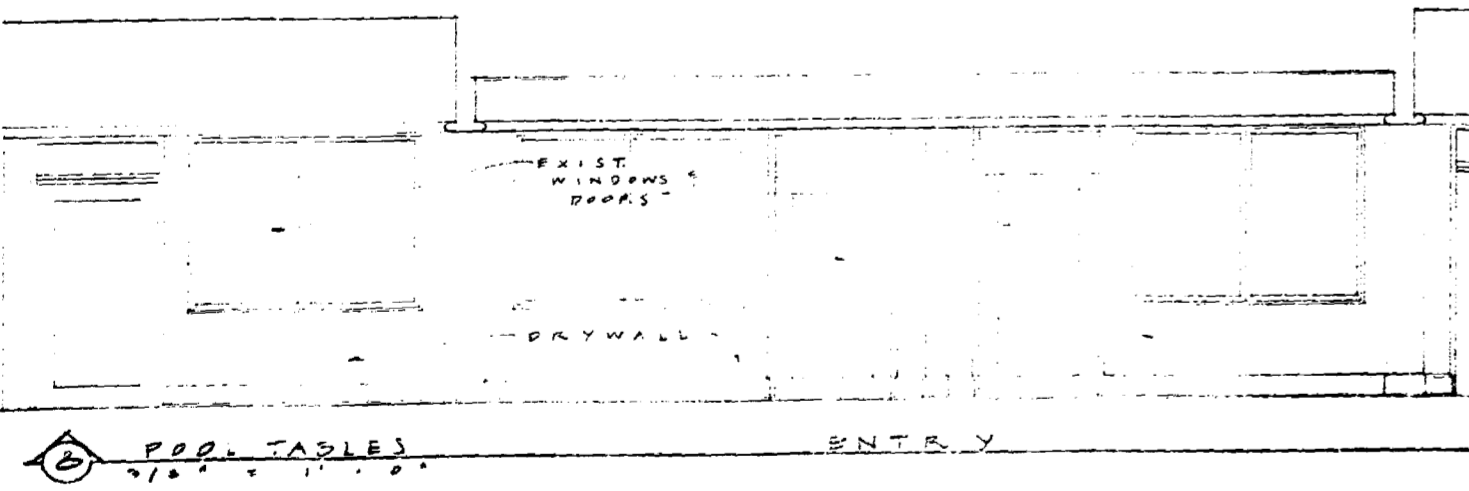
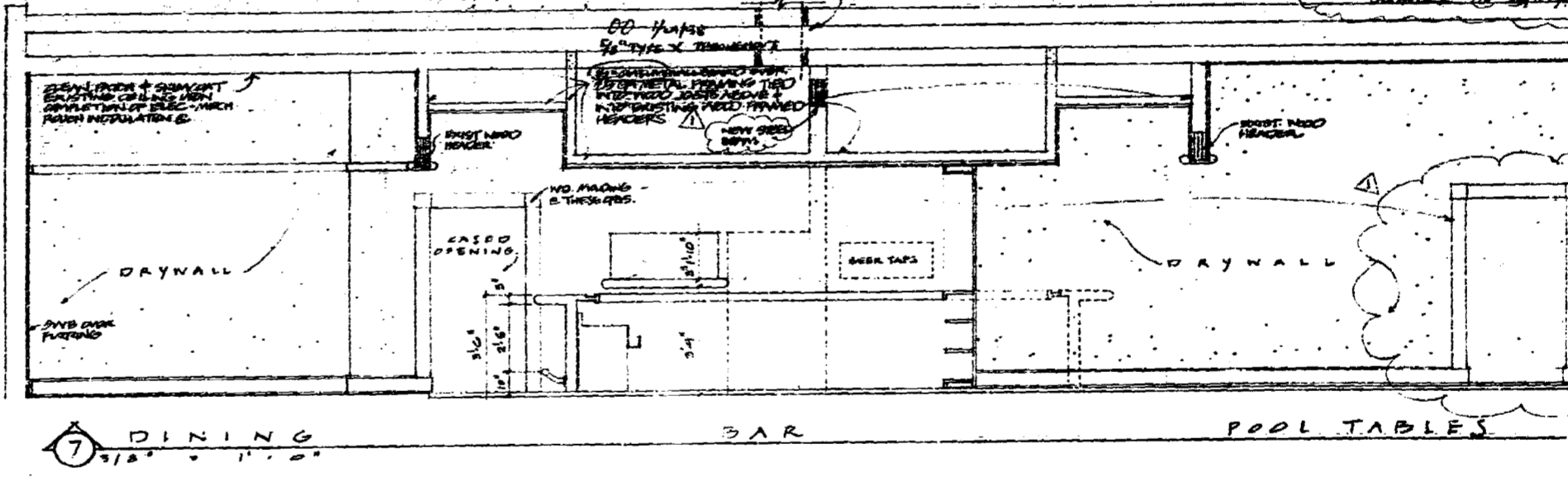
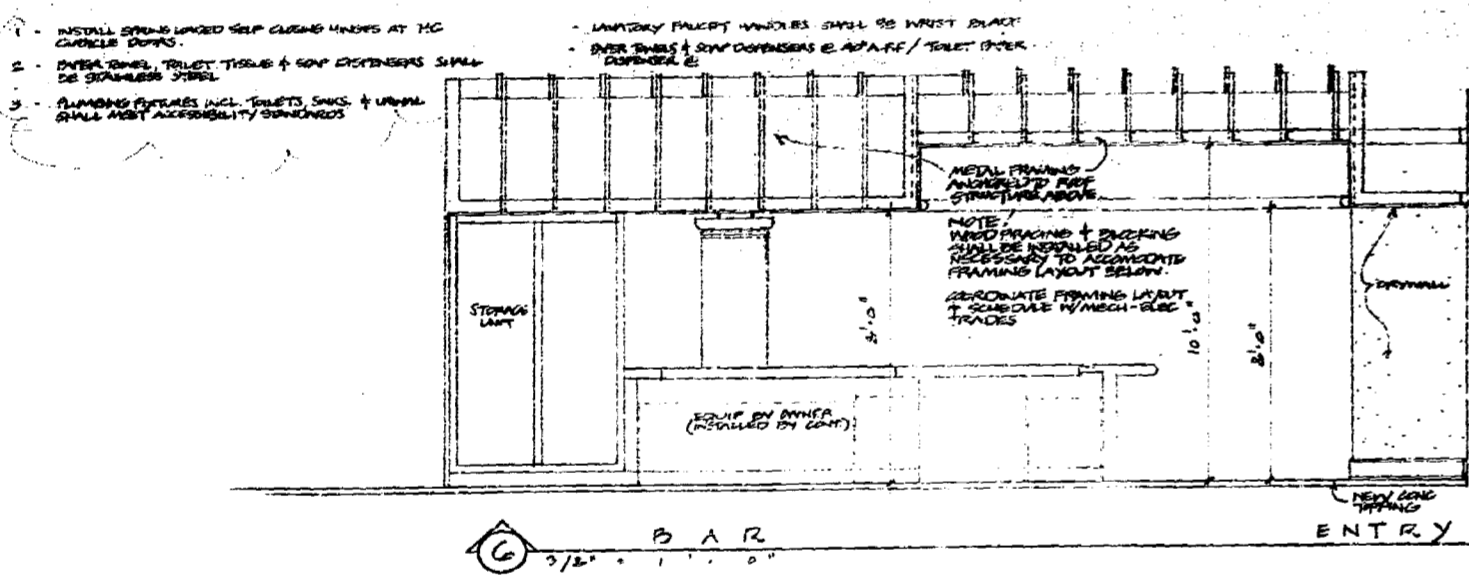
- BUILDING: *[Signature]*
- ZONING: *[Signature]*
- ELECTRICAL: *[Signature]*
- MECHANICAL: *[Signature]*
- FIRE PREVENTION: *[Signature]*
- ENGINEERING: *[Signature]*
- PUBLIC WORKS: *[Signature]*
- STREETS: *[Signature]*
- PLANNING: *[Signature]*
- PERMITS: *[Signature]*



000407



TOILET ROOM ELEVATIONS



**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY THE FOLLOWING:

DRAWING	2/1/80
DESIGN	2/1/80
PLANNING	2/1/80
ELECTRICAL	2/1/80
Mechanical	2/1/80
FIRE PROTECTION	2/1/80
Structural	2/1/80
Public Works	2/1/80
Sanitation	2/1/80
Water	2/1/80
Storm	2/1/80

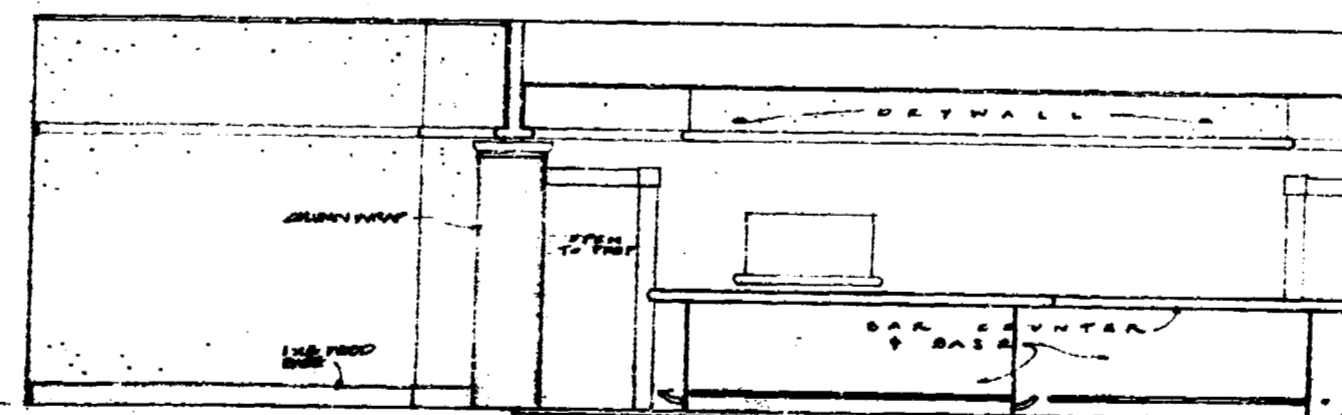
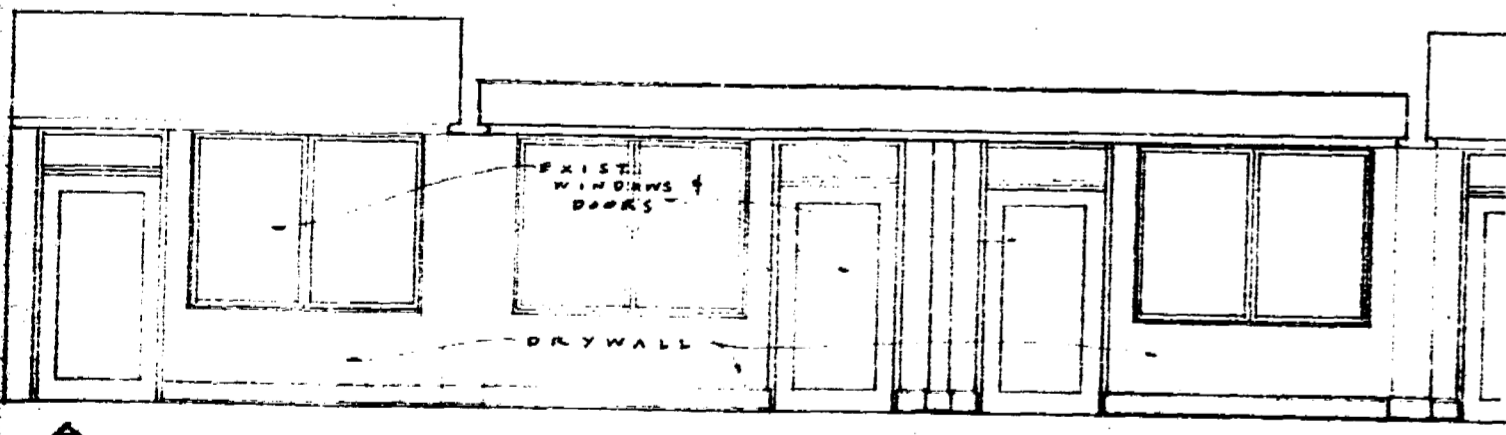
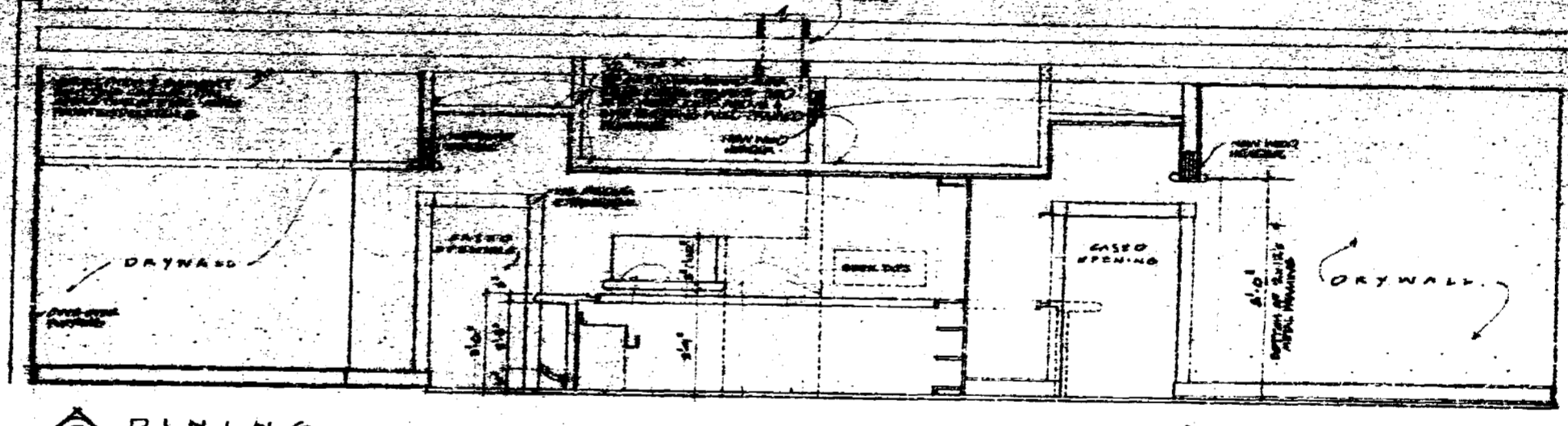
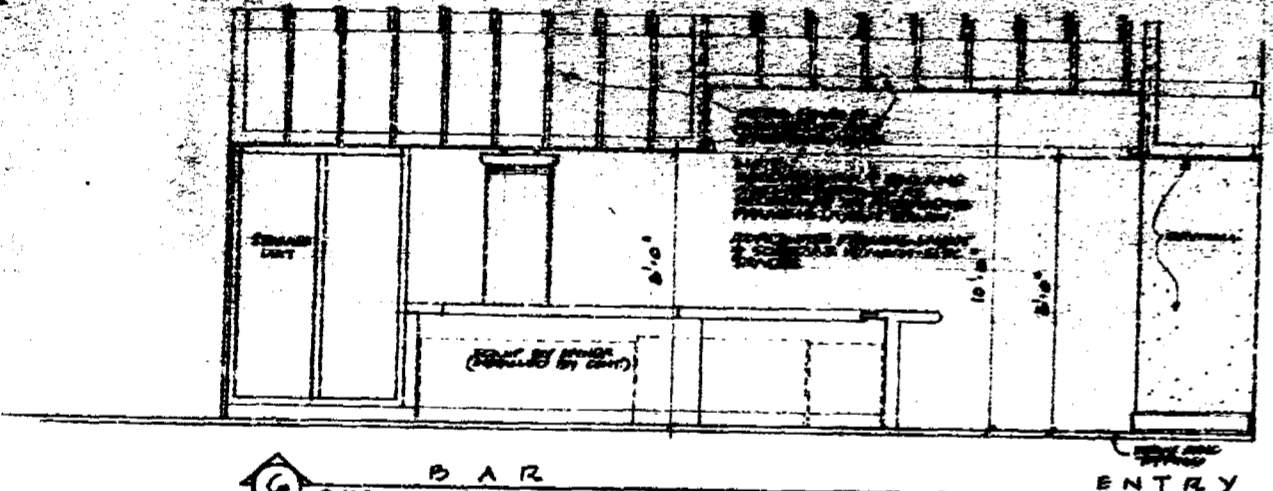
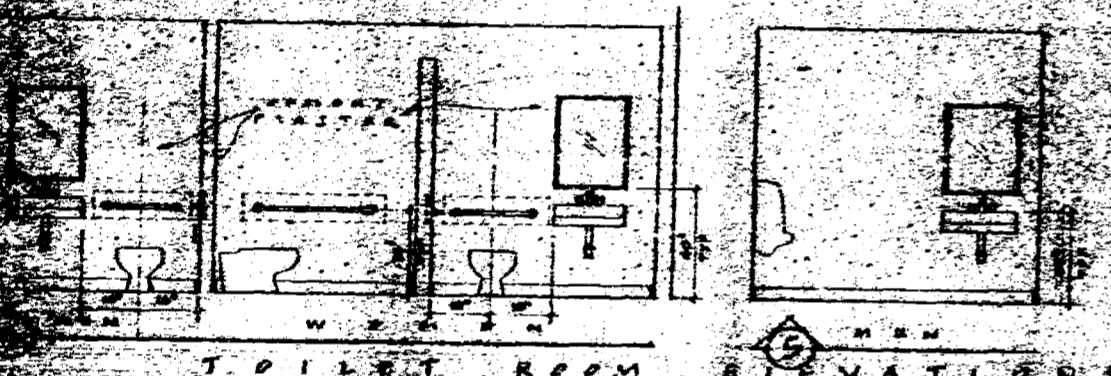
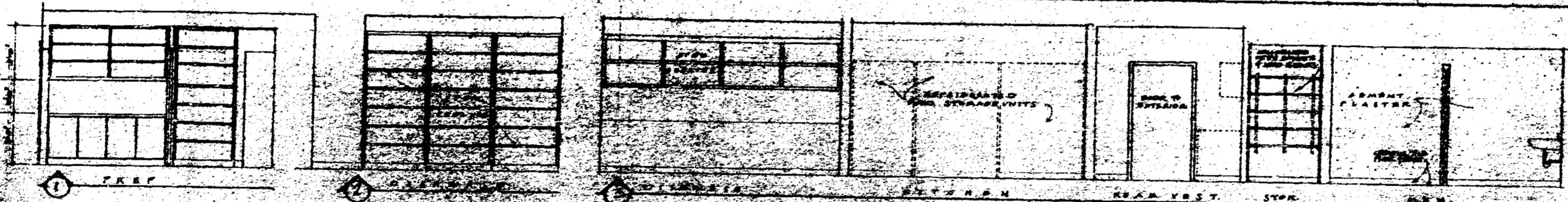
NOTE: ACCESSIBLE SECTION SEE DRAWING 3-341-A

**REVISIONS**  
January 26, 1980

**OVIDIO OXIOS, AIA.**  
Architecture - Design Services  
110 West 24th Street, Suite 100  
Miami Beach, Florida 33139  
954-356-8000

Interior Remodeling for  
**TED'S HIDEAWAY**  
120 24th Street - Miami Beach  
Date: December 20, 1977  
Sheet A-3 of 3

00408



**OFFICE COPY**

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

PLUMBING	
ELECTRICAL	
Mechanical	
Structural	
Fire	
Health	
Sanitation	
Public Works	
Administration	
Engineering	
Architecture	
Interior Design	
Other	

**VOID**

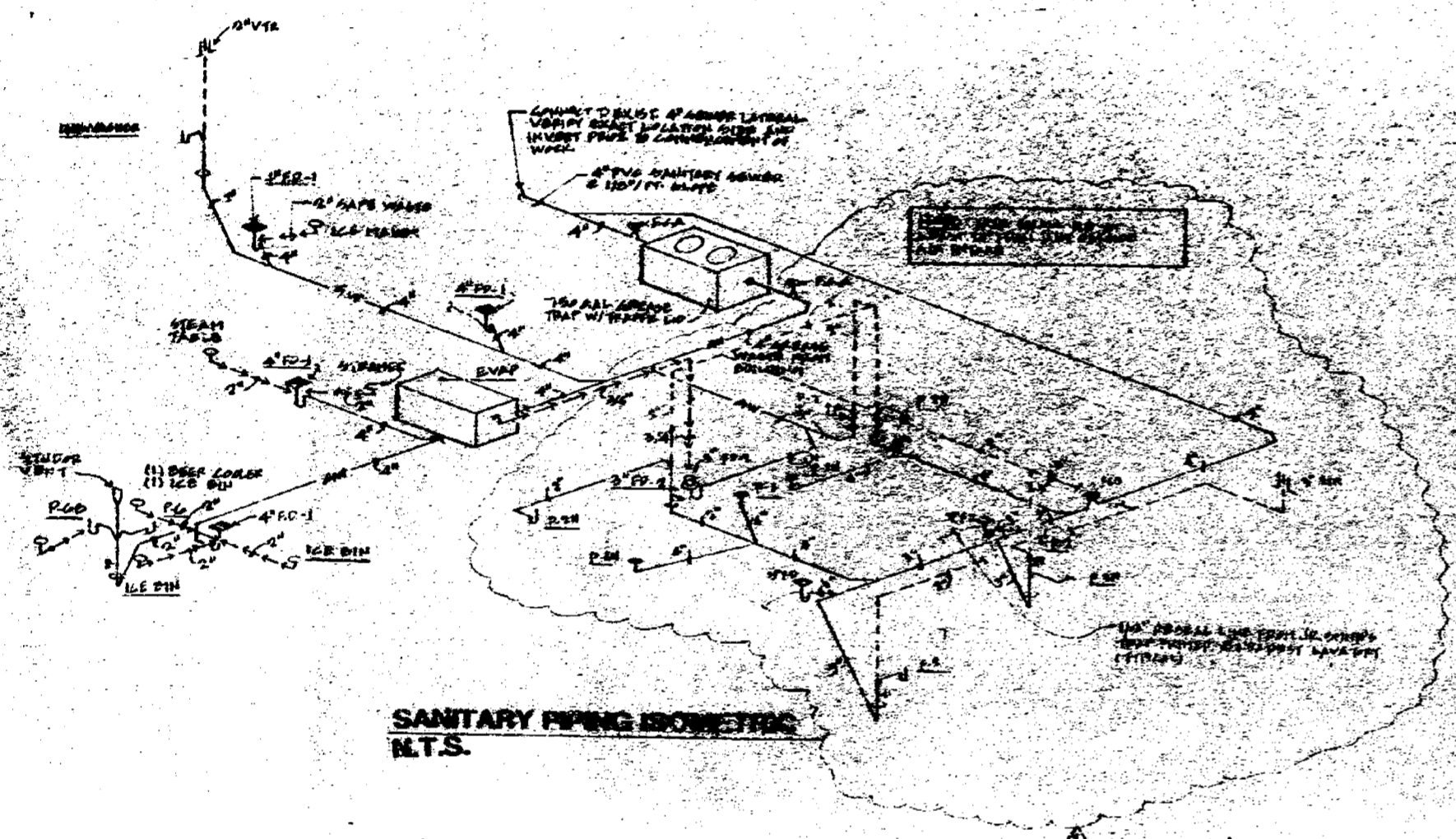
**OIDIO OKIOS, AIA**  
 Architect - Design  
 2215 Collins Ave. Suite 200  
 Miami Beach, FL 33139  
 Phone: 305-531-1111  
 Interior Review:  
**TED'S RIDGE**  
 Date: \_\_\_\_\_  
 Signature: \_\_\_\_\_

000409

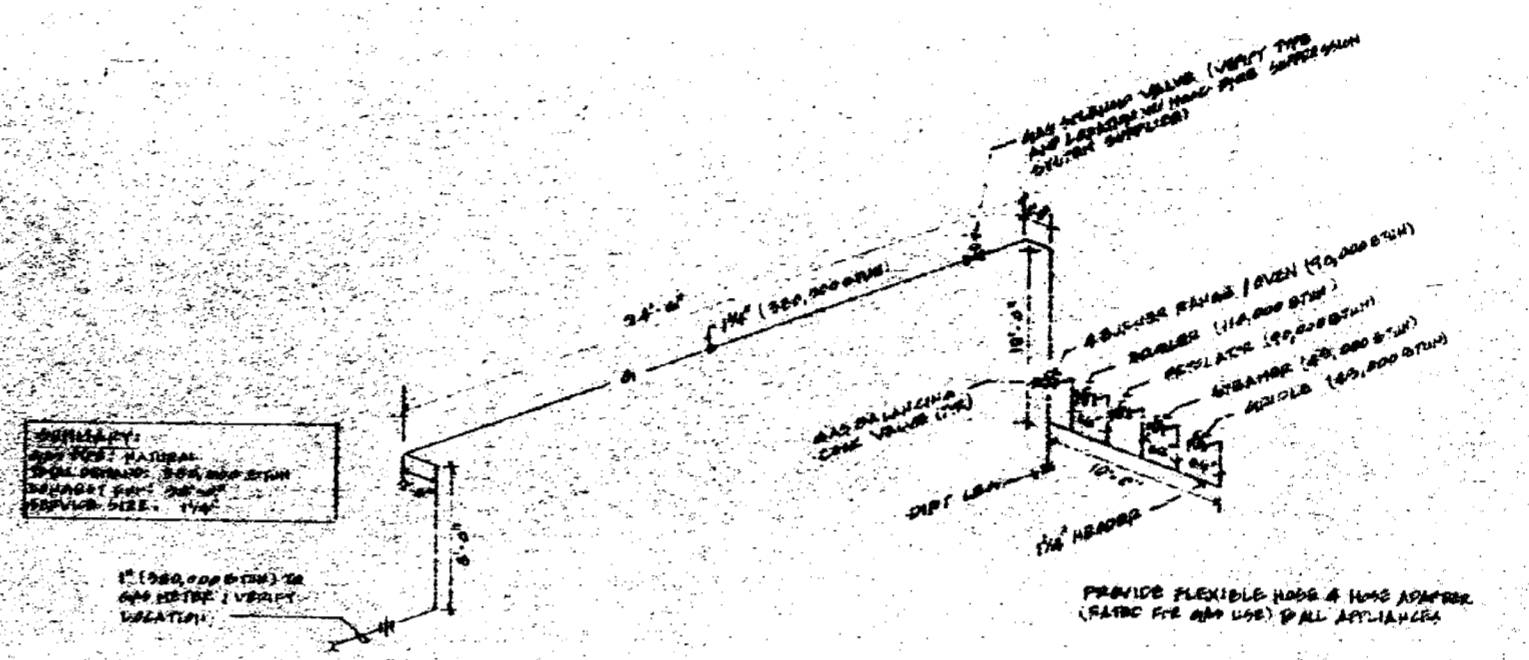




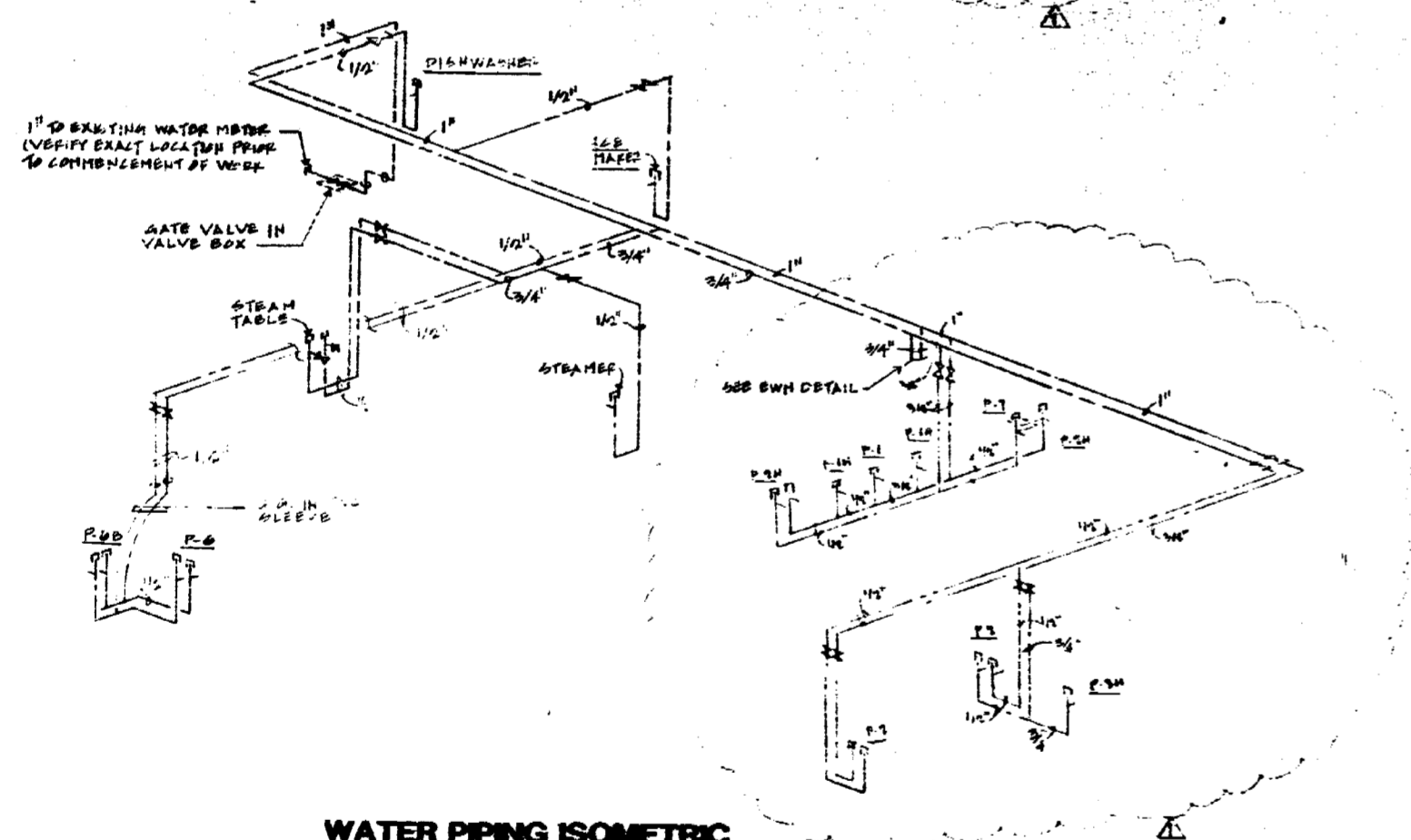




**SANITARY PIPING ISOMETRIC  
N.T.S.**



**GAS PIPING ISOMETRIC  
N.T.S.**



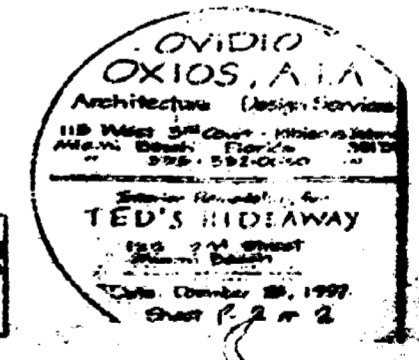
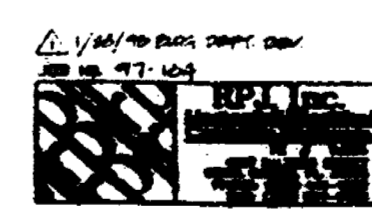
**WATER PIPING ISOMETRIC  
N.T.S.**

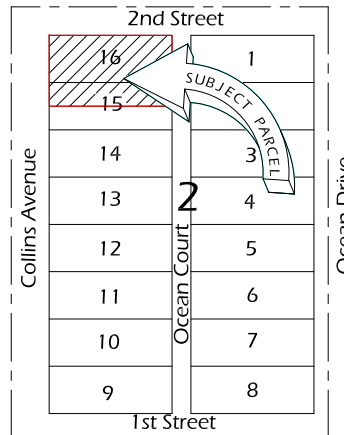
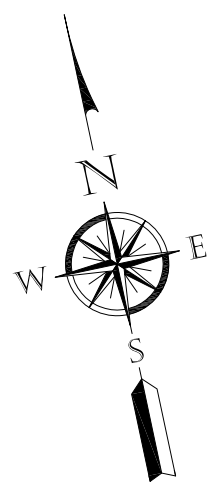
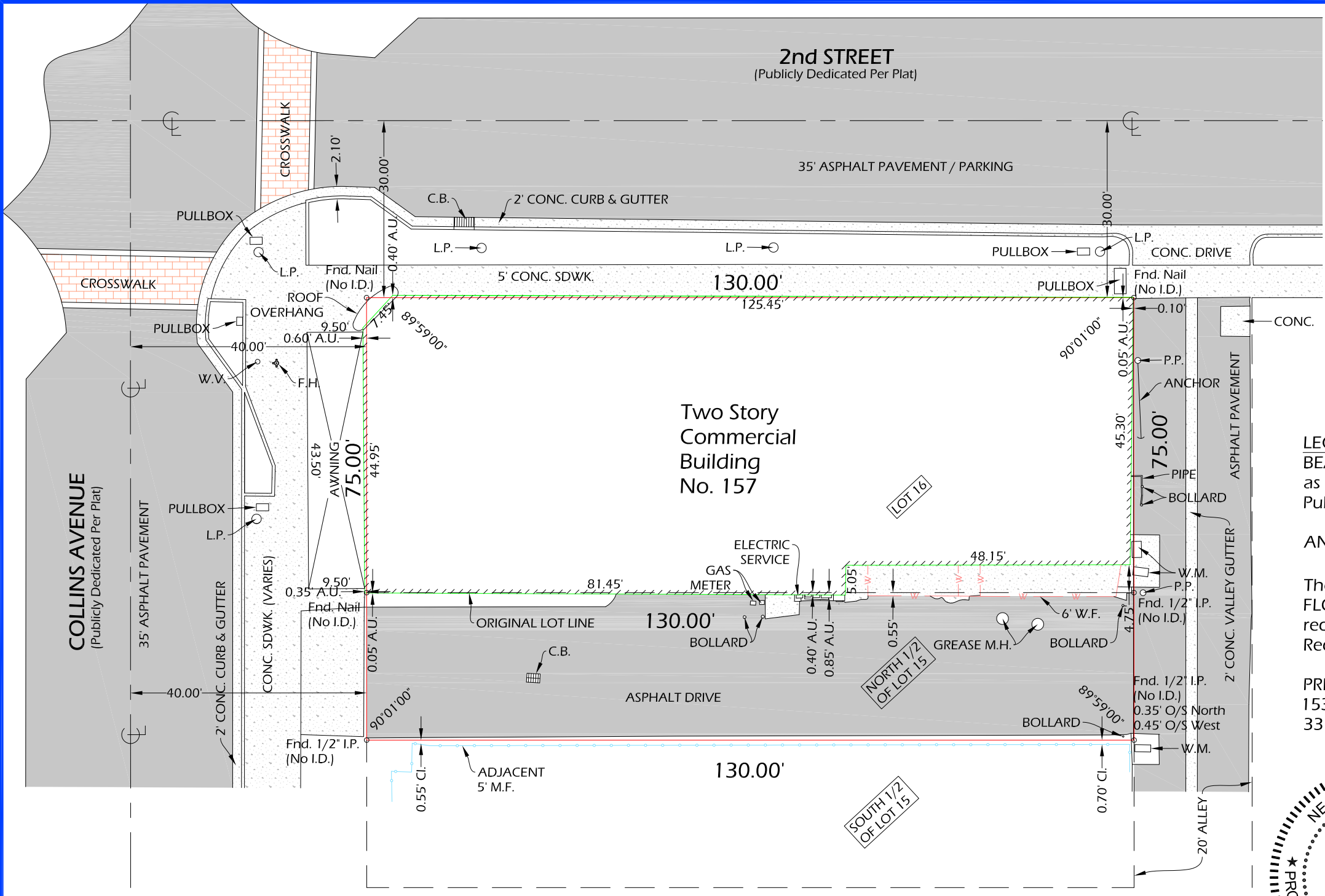
000412

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY:  
THE FOLLOWING:

ENGINEER	_____
PLUMBER	_____
ELECTRICIAN	_____
Mechanical	_____
Fire Protection	_____
Structural	_____
Accessibility	_____
Electrician	_____

*[Handwritten Signature]*





Location Sketch  
NTS

**LEGEND**

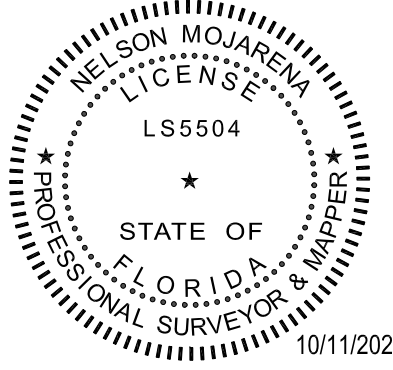
- Δ = Central Angle
- A.U. = Apparent Usage
- A/C = Air Conditioner
- BBQ = Barbecue
- C = Calculated
- CB = Catch Basin
- CBS = Concrete Block Structure
- C.E. = Covered Entry
- CH = Chord
- Chatta. = Chattahoochee
- € = Center Line
- CLF = Chain Link Fence
- Cl. = Clear
- Conc. = Concrete
- D = Deed
- Ø = Diameter
- DH = Drill Hole
- DME = Drainage & Maintenance Easmt
- Easm't = Easement
- Enc. = Encroachment
- F.H. = Fire Hydrant
- FIP = Found 1/2" Iron Pipe
- FPL = Florida Power & Light
- I.C.V. = Irrigation Control Valve
- ID = Identification
- I.P. = Iron Pipe
- LB = Licensed Business
- LME = Lake Maintenance Easement
- L.P. = Light Pole
- M = Measured
- ME = Maintenance Easement
- M.F. = Metal Fence
- Mon. = Monument Line
- Mon. = Monument
- N/A = Not Applicable
- N/D = Nail & Disc
- N" = Number
- NTS = Not to Scale
- O/S = Offset
- O.U.L. = Overhead Utility Lines
- P = Plat
- PB = Plat Book
- PC = Point of Curvature
- PCP = Permanent Control Point
- P.E. = Pool Equipment
- P.I. = Point of Intersection
- PKWY = Parkway
- PL = Property Line
- PL = Planter
- PLS = Professional Land Surveyor
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- P.P. = Power Pole
- PRC = Point of Reverse Curvature
- PRM = Point of Reference Monument
- PT = Point of Tangency
- R = Radius
- Res. = Residence
- R.L.S. = Registered Land Surveyor
- RNG = Range
- R/R = Railroad
- RSM = Registered Surveyor & Mapper
- R/W = Right-of-Way
- Sdwb = Sidewalk
- Sec. = Section
- T = Tangent
- TWP = Township
- U.E. = Utility Easement
- UTIL = Utility
- W.F. = Wood Fence
- W.M. = Water Meter
- WME = Wall Maintenance Easement

**LEGAL DESCRIPTION:** Lot 16, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE County, Florida.

AND

The North 1/2 of Lot 15, Block 2, OCEAN BEACH FLORIDA, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of MIAMI-DADE County, Florida.

PREPARED FOR: 157 Collins Avenue, LLC,  
153-157 Collins Avenue, Miami Beach, FL  
33139



- Surveyor's Notes:
- All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
  - Underground structures, if any, not located.
  - Bearings, if shown, are based on assumed meridian or Plat of Record.
  - Lands shown hereon were not abstracted for easements and/or right-of-ways of records.
  - Legal description provided by client.
  - This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
  - There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
  - This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
  - This survey was based on the monuments found on the field.

**SURVEYOR'S SEAL**  
This survey has been digitally signed and sealed by Nelson Mojarena, P.S.M. on the date adjacent to the seal. Printed copies are not considered signed and sealed and the signature must be verified on any electronic copies.

REVISSED:

**BOUNDARY SURVEY**

*Nelson Mojarena*  
**NELSON MOJARENA**  
Registered Surveyor & Mapper No. 5504  
State of Florida

**MOJARENA & ASSOCIATES, INC.**  
Land Surveyors & Mappers  
Certificate of Authorization No. 6698  
P.O. Box 56-0126  
Miami, FL 33256-0126 (305) 278-2494

FLOOD ZONE: AE		BASE: 8	
DATE: 10-05-22	SCALE: 1" = 20'	DWN. BY: N.M.	JOB NO.: 22-0170A